

THE ARISTON CAFÉ – OLD ROUTE 66 – LITCHFIELD, ILLINOIS

CONDITION ASSESSMENT WITH TREATMENT RECOMMENDATIONS



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THE ARISTON CAFÉ – OLD ROUTE 66 – LITCHFIELD, ILLINOIS

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INTRODUCTION

Preliminary drafts of this report were written in Fall 2007. The final draft was completed in January 2008. The architectural firm of Goldasich-Audo Architects & Planners, Inc prepared the report.

Historic photographs along with important background information were obtained from Mr. and Mrs. Nicholas Adam, owners and operators of the Ariston Café.

This Condition Assessment with Treatment Recommendations was prepared for the National Park Service, Route 66 Corridor Preservation Program.

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EXECUTIVE SUMMARY

The Ariston Café In Litchfield, Illinois was constructed in 1935. The style is utilitarian commercial with details that reflect the Art Deco style of the 1930's. The building faces east and fronts the 1930-1940 alignment of historic Route 66.

Construction consists of a concrete foundation with the exterior walls being load bearing. The original structure has a gable roof (wood framed structure) with the roof finish being asphalt shingles. The exterior brickwork contains several colors: tan, red, and beige.

The building is in good condition with only minor problems present in the exterior masonry. The gable roof area needs to have the shingles replaced. The flat roof area of the 1974 addition is in sound condition.

The interior spaces are in excellent condition and reflect the period of the original construction complete with many original lighting fixtures and a number of sections of the casework installed in 1935.

It is the owner's intention to complete certain repairs and continue to provide the wonderful food and service that has been present from its beginning in 1935 in this building.

Michael R. Goldasich, Architect

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METHODOLOGY

The project report was developed utilizing data collected through on-site visits, field measurements, recent photographs, research and review of the application for eligibility for the National Register of Historic Places, research at the Litchfield Public Library, and finally reflections from personal contact with the property in the late 1940's through 1956.

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HISTORICAL ANALYSIS

The Ariston Café is located along the original Route 66 in the town of Litchfield, Montgomery County, Illinois. Litchfield is in south-central Illinois, approximately forty miles south of Springfield, Illinois, and forty miles northeast of St. Louis, Missouri. The restaurant is situated on the western edge of the town and occupies a rectangular lot. The building faces Old Route 66 and is surrounded by a paved parking area. No other buildings or structures are on the property.

The Ariston Café was constructed in 1935 in a utilitarian commercial form of the period. It lacks allusions to a particular architectural style although the interior booths reflect the influence of the Art Deco style of the 1930s. Its most distinguishing exterior features are its curved parapet wall on the main façade and its finely crafted varied brickwork. The interior is remarkably unaltered and provides an unusually strong sense of time and place from its period of construction.

The original design and plan of the Ariston Café was modified in 1974 with the addition of a banquet room on the north façade. This addition was designed to complement the original building through its brick coloring and the continuation of the parapet wall on the main façade. This addition does not significantly detract from the building's original design. The overall exterior appearance of the Ariston Café continues to reflect its period of construction from 1935, and its interior is especially evocative of this era.

The building has a poured concrete foundation, a gable roof of asphalt shingles, and an exterior of tan, red, and beige textured stretcher bond brick. On the main (east) façade is the storefront. This storefront originally had two entrances with multi-light glass and wood doors. Over the doors were frame elliptical canopies. These entrances were remodeled in 1977 with aluminum and glass doors. This remodeling also resulted in the addition of frame and glass vestibules at each entrance with a connecting wood shingled mansard roof. The vestibules have single-light aluminum and glass doors and single-light aluminum and glass display windows. The exterior walls of the vestibules have vertical board siding. Leading to the vestibule entrances is a concrete handicapped access ramp and a wrought iron railing.

The entrances into the building retain their original glazed tile surrounds and blind brick arch. Between the two entrances is an original window opening with an original tan colored glazed tile surround. The original windows were replaced in 1978 with three fixed baked enamel aluminum windows. On either side of the vestibules on the main façade are original window openings with tan colored glazed tile surrounds. Above the storefront is a large rectangular sign panel. This panel is outlined in glazed tile and the panel is of stucco. Attached to the sign panel is the painted sign, which reads "ARISTON" and is also outlined in neon. On either side of the sign panel are inset glazed tile panels that have a central square design set within a diamond design. The main façade has a curved parapet wall with glazed terra cotta coping. At the corners of

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the roofline are short piers with glazed terra cotta coping and original light fixtures with acorn globes. Projecting from the upper façade are two original metal and neon projecting signs that advertise "Ariston Café" and "Budweiser." On the main façade is a belt course above the foundation of glazed tile.

The south elevation has an exterior of stretcher bond brick and approximately one foot above grade is a soldier course belt course. The east bay window has a surround of soldier course brick and a brick sill. This window opening has a single-light baked enamel aluminum window. This elevation also displays four original window openings just below the roofline. These window openings have original soldier course brick surrounds and brick sills. Three of the openings have single-light aluminum windows added in 1978 and one opening has a metal panel. The west bay of this elevation has a window opening with an original glazed tile sill and lintel. Stuccoed wood panels replaced the original window in 1978.

The rear, or west elevation, was designed with three windows. The south bay window opening has original glazed tile sills and header course. This window opening has stuccoed wood panels added in 1978. The central window on this elevation has an original surround of glazed tile. This opening has been enclosed with wood panels and a one-over-one aluminum sash window. Original glazed tile pilasters that rest on poured concrete piers divide the three brick bays on this elevation. In the gable field of the west elevation is vinyl siding that went up around 1970. This gable field has a metal sign inscribed, "ARISTON," and the letters are outlined in neon.

At the roofline of the original brick section is glazed tile coping and short projecting piers. The corner piers have original light fixtures with acorn globes. Below the roofline on this elevation are metal letters outlined in neon that read "Better Place to Eat." Attached at the rear are two metal non-contributing coolers added in 1978. These coolers rest on concrete block and poured concrete foundations.

On the north elevation at the northwest corner of the building is an original entrance with a solid metal door added circa 1980. This entrance has a transom enclosed with a wood panel. On the north elevation is a non-contributing one-story brick wing added in 1974 with tan- and cream-colored stretcher bond brick. This wing has a shed roof of rolled asphalt roofing. The wing lacks fenestration except for a central entrance on the north elevation with a metal door. Across the width of this elevation and the east elevation is a planting bed with gravel, shrubs, and other landscaping. At the roofline of this wing is concrete coping.

The interior of the original section has an original acoustical tile ceiling, plaster walls with added wallpaper, and a carpeted floor. Along the north wall is an original Art Deco influenced wall cabinet and built-in shelves of wood construction. This cabinet has original light fixtures, zigzag molding, and central and corner cases. The central case has "The Ariston Café" inscribed in wood. In front of this cabinet is an original counter

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with replacement plastic laminate. In front of this counter are seven original upholstered chrome stools. Along the south wall are six original wood booths with original chrome hat racks. The exterior walls of the booths have vertical fluting. The booths have tables with plastic laminate tops added in the 1960s. The booths have original metal light fixtures made by the Fitzpatrick Fixture Company of Springfield, Illinois. The tables and chairs in the dining area are original. Two of the light fixtures hanging from the ceiling are original. Four fixtures were added around 1970 and are ceiling fans with white globes. The kitchen area has a concrete floor and brick walls and a paneled wood ceiling. A wood staircase leads from the kitchen to an upper floor storage area.

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PERIOD OF SIGNIFICANCE – SUMMARY

The property is significant for its role in the commercial history of U.S. Route 66, which extended from Chicago, Illinois to Los Angeles, California and was the primary transportation corridor between these two destinations in the early and mid-twentieth century. The Ariston Café is a representative example of the types of commercial businesses that once flourished along the once well-traveled route. Although the restaurant has undergone some alterations, it continues to retain a sufficient degree of original design and materials to reflect its period of significance from its construction date of 1935 to the fifty-year milestone of 1956. The property meets the registration requirements for restaurants set forth in the Multiple Property Documentation Form, "Historic and Architectural Resources of Route 66 Through Illinois."

ADDITIONAL INFORMATION

Restaurants, along with gas stations and motels, were among the most common types of businesses found along Route 66 throughout the country. Restaurants and roadways were natural companions as America experienced a boom in both restaurant development and automobile use in the early twentieth century. Due to changing social patterns and developments in technology, dining out became a more available and frequent activity and an "eating-out boom" occurred. Between 1910 and 1927 the number of restaurants in the country rose forty percent. During this same period, automobile production and use soared as well. In his study of roadside architecture, historian Chester Liebs points out in his book, Main Street to Miracle Mile, American Roadside Architecture, "a symbiosis developed between two emerging forces – the urge to ride in the car and the urge to eat out." (1985) These two complementary developments posed a welcome opportunity to many potential businessmen and women, especially along a busy road. Liebs further states "to the hopeful wayside entrepreneur, it offered the freedom of situating a restaurant along the margins of any well-traveled road where land could be acquired inexpensively."

As the main corridor between Chicago and California, Route 66 was one such well-traveled road and a wide range of eating establishments could be found along its path. All along the route individual "mom and pop" enterprises emerged to feed hungry travelers ranging from short-order diners to roadside hamburger stands to more full-service family restaurants and cafés. These were typically individually owned and operated businesses, especially in the early years of the roadway, and more often than not a restaurant would be associated with either a gas station or motel. The independent eateries along Route 66 were particularly common in small towns; and although they shared a basic commonality, each had a unique appearance and style due to the individual ownership. Their common characteristics, however, were that they were generally built with little capital, and offered homemade local foods often cooked

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and served by the owners themselves. (Cassity, Route 66 Corridor National Historic Context Study, 2004, 176.)

The Ariston Café reflects this history of restaurant development along Route 66. Even during the midst of the Great Depression, restaurants remained a likely choice of budding entrepreneurs and individuals who were trying to better their financial situation. Relatively inexpensive to build and requiring little labor beyond immediate family members, restaurants offered the chance of a possible decent living, especially if they were located along a well-traveled road such as Route 66.

The Ariston Café, however, was no minor novice operation, but was the work of seasoned restaurateurs. The original owners of the Ariston Café, Pete Adam and Tom Cokinos, were well experienced in the restaurant business and thus had an added advantage. Adam had been in the restaurant business for fifteen years and was well versed in the intricacies of the trade. Prior to the designation of Route 66 in this area, Adam owned a restaurant in nearby Carlinville. Keenly aware of the importance of location, he saw an opportunity when Route 66 was established. He selected a spot near the intersection of two major thoroughfares – Route 66, which extended in a north-south direction on the city's western border, and Route 16, which was the city's primary east-west corridor – to build his new café in Litchfield.

Adam and his partner hired contractor Henry A. Vasel to construct the building along Route 66. Work began on the structure on April 4, 1935, and was completed on July 5th of the same year. An original ledger maintained by the Adam family reveals that construction costs for the building came to \$3,625.36. The opening of the café served as a sign of local economic recovery, as an article in the *Litchfield News-Herald* reported: "Hailed by many as another reason why Litchfield's prosperity is ahead of recovery programs in other cities is the recent opening of the new Ariston on Route 16 west of the city." The article goes on to state that the Ariston Café was "in a strategic position to attract a great deal of automobile traffic between St. Louis and Chicago or the east." (*News-Herald*, 1935) The restaurant's location along the main thoroughfares of Route 66 and 16 surely contributed to its success.

The original building of the Ariston Café measured 40' by 60' and contained fifteen tables and six booths, which accommodated up to 100 persons. Owner Pete Adam boasted that the kitchen was equipped with "modern refrigeration" and the chief cook, James Paulos, was "the best cook I have had in fifteen years of restaurant experience." (Ibid) In addition to Paulos, the Ariston Café employed nine other individuals. And like many businesses along Route 66, the Ariston Café originally had two gas pumps in front of the building. The combination food and gas stop helped to draw more customers and added to the business's profit.

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The building was designed with its primary entrance facing Sherman Street, which served as the original roadbed of Route 66 through Litchfield until 1940. By 1940, the traffic on Route 66 had become so congested that a four-lane bypass was constructed one block to the west. When this happened, owner Pete Adam added additional signage at the rear of his building to advertise the café and it continued to be the most popular restaurant along this section of the highway. After Pete Adam died, his son, Nick, assumed the ownership and operation of the restaurant. As business trends changed over the years, the gas pumps were removed and Nick Adam expanded the restaurant in 1974 with an added wing and attached two large metal coolers at the rear of the building.

The Ariston Café meets the registration requirements for the property type of Restaurants/Diners as outlined in the Multiple Property Documentation Form, "The Historic and Historic Archaeological Resources of Route 66." The building faces Old Route 66 (Sherman Street) on the east, while its rear façade faces the New Route 66, which was completed in 1940. In addition to its physical proximity to Route 66, the building also retains its character defining aspects of a restaurant including its original booths, counter, dining area, and kitchen. The Ariston Café is one of only a few restaurants associated with Route 66 in Illinois that remains in operation along the original roadbed. During the 1960s and 1970s, the construction of Interstate 55 replaced Route 66 as the main thoroughfare for automobile traffic from Chicago to St. Louis. Most restaurants and other businesses that depended on travelers for their business closed, relocated, or found other means to remain in business. The Ariston Café has remained in operation since 1935, due to its quality of food and service, its location near the junction of several busy roads and the interstate, and a dedicated local and regional clientele.

The Ariston Café remains as a rare survivor of the type of family-owned restaurants that flourished along Route 66 in Illinois during the mid-twentieth century. It is a well-known landmark and direct link to the history of Route 66. For additional information, see the Multiple Property Documentation Form, "Historic and Architectural Resources of Route 66 through Illinois" and the "Route 66 Corridor, National Historic Context Study."

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CONDITION ASSESSMENT

STRUCTURAL –

The overall condition of the building's structural elements is sound; however, there are parts of secondary structure that will require attention.

The roof structure of the original building consists of wood trusses, wood decking, and wood lateral bracing. The general condition is sound. This roof area is a gable with the ridgeline running east and west. The roof structure of the 1974 addition is steel bar joists and steel beams supporting a metal deck and EDPM roofing. The condition of this system is sound and in above average condition. The roof is flat.

The building's foundation is concrete and is in generally good condition. The foundation supporting the freezer/cooler modules is block masonry units and these units need repair in some areas. See photos 22 and 23.

ELECTRICAL –

A local electrical contractor services the electrical system and in most respects the system is adequate. It was noted that certain areas of general lighting would be improved by replacing a number of ceiling (lay-in) fixtures. The area experiencing the greatest need is the kitchen. The existing fixtures have deteriorated due to excessive heat levels within the kitchen's cooking area.

MECHANICAL AND PLUMBING –

The heating and air conditioning system is also serviced on a routine basis and is in generally good condition. It is the practice to repair or replace equipment as the need dictates.

The building's plumbing system is adequate. There have been recent improvements to the staff toilet areas. A local plumbing contractor completes plumbing repairs and required improvements.

WINDOWS AND DOORS –

The original wood double-hung windows were replaced with enamel painted aluminum replacement units in the 1970s. The masonry openings were left in the original sizes. The 1974 addition was constructed without windows. The condition of the windows is

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average with the primary concern being the severe deterioration of the steel lintels above the 1935 openings. See photos 12 and 13.

The wood exterior doors of the original building were replaced with aluminum storefront type doors in 1977. The condition of the exterior doors would suggest repairs and repainting of the dining room door on the north façade and the door that opens into the rear of the kitchen/receiving area. The service door into the receiving area will need additional reinforcement prior to repainting.

The interior doors are in good condition with no apparent deficiencies.

ROOFING AND DRAINAGE –

The finished roof of the 1935 building element is a grey asphalt shingle that is over twenty-five years old and needs to be replaced. The shingles are brittle and have curled in a number of areas.

The finished roofing membrane over the 1974 addition appears to be in good condition and if routine maintenance is provided this roof area should be good for a number of years.

Roof drainage is provided by standard aluminum gutters and down spouts and is in sound condition at this time. Surface site drainage is satisfactory overall but there is an area at the base of the north wall where surface water drains toward the building and must be directed by means of a landscape element.

FINISHES, TRIM, AND DECORATIONS –

Overall the finishes, trim, and decorations are in very good condition with but a few exceptions. On the 1974 addition, there are areas of exterior face brick that have a fractured surface, which should be monitored, and repairs made if conditions become more serious than are present at this time. See photos 10, 19, and 28.

Interior finishes must be continually maintained to reduce deterioration. The ceiling of the original dining room is cane fiber adhered ceiling tiles. It is recommended that this ceiling be replaced in the near future due to the combustible nature of the cane fiber ceiling tiles.

Another finish area that should be scheduled for replacement is that of the kitchen ceiling. The existing lay-in ceiling tiles are of the type that will not withstand required hygienic cleaning. Replacement with a stable hygienic washable ceiling tile is recommended.

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EQUIPMENT –

It is the nature of the restaurant to have the need to continually replace equipment and such is the need of the Ariston Café. At the time of our field visits, the equipment supporting the restaurant use was in good condition.

The equipment stress is a real factor for items such as coolers, freezers, cooking equipment, and food preparation equipment. The owners are very much aware of this process and budget replacement as a part of their business plan.

HYDROLOGICAL AND ENVIRONMENTAL –

Based upon our site visits, we did not discover any unusual hydrological or environmental issues. It is our understanding that there are no outstanding governmental citations pertaining to environmental problems.

PLANNED USE

It is the intent of the owners to continue to operate the business of a family restaurant. As mentioned in other areas of this report this building was constructed in 1935 to function as a restaurant and has continued in this capacity from its beginning.

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VERBAL BOUNDARY DESCRIPTION

The boundary for the Ariston Café includes all of parcel 001 in block 453 on Montgomery Tax Map 1032. This parcel includes less than one acre and encompasses the entire lot on which the Ariston Café is sited. The lot is bounded on the east by Old Route 66 (Sherman Street), on the north by the right-of-way of State Route 16, on the south by a paved driveway, and on the west by the right-of-way of New Route 66.

VERBAL BOUNDARY JUSTIFICATION

The boundary for the Ariston Café includes all property historically associated with the building. The building and its paved parking area encompass the entire lot on which it is sited and there are no ancillary buildings or structures.

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RECOMMENDATIONS

PRESERVATION STANDARDS –

All repairs to historic fabric should be conducted in a manner that retains or restores the historic appearance of the building. Historic materials should be retained and repaired, rather than replaced, whenever possible. When replacement is necessary, materials should match the original in material, texture, and color as closely as possible.

CHARACTER DEFINING FEATURES –

The configuration of the building, together with the massing of materials, the existing fenestration, and the color of the exterior all create the defining character of the Ariston Café. Planned improvements will not alter the character of the building.

DRAWINGS AND COST –

The preliminary drawings graphically define certain rehabilitation recommendations together with estimates of probable costs.

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PROJECT RECOMMENDATIONS WITH PRIORITIES

1. Re-roof original 1935 building element gable roof. The existing roof is asphalt shingles and has experienced deterioration and general material aging. The existing roofing will be removed and new asphalt shingles will be installed over new roofing felts. The existing gutters and downspouts will be replaced with new materials that will match existing shapes and sizes. Estimated probable cost: Six thousand eight hundred eighty dollars (\$6880).
2. Repair exterior corner columns and cracks in the masonry units at the service entrance. The existing columns are to be taken down piece by masonry piece to a point below the existing fractures. The interior will be examined and corrective action taken. The existing masonry units will be cleaned of old mortar and the column area affected will then be reconstructed. Mortar color will match the original. Estimated probable cost: Fourteen thousand two hundred fifty dollars (\$14,250).
3. The existing in-fill panel at the southwest corner will be removed and replaced with detailing and materials that more closely relate to the original architecture. The shingle area at the east façade will be removed. This area was added at the time the entrance vestibules were added – approximately 1972. It is planned to repeat the detail of the frame elliptical canopies. Estimated probable cost: Eighteen thousand four hundred dollars (\$18,400).
4. Replace the existing lay-in ceiling in the kitchen. The existing acoustical lay-in ceiling tiles do not satisfy current requirements for a commercial kitchen environment. It is proposed to remove the existing lay-in ceiling and install a new ceiling system similar to Chicago Metallic Eurostone. Estimated probable cost: Three thousand dollars (\$3000).
5. Replace the existing cane fiber ceiling tiles in south dining area. This ceiling is to be replaced with a lay-in acoustical ceiling (2X2) that is fire-rated. The existing cane fiber ceiling is a combustible material that is obsolete and a safety hazard. Estimated probable cost: Seven thousand dollars (\$7000).
6. It is suggested that a redwood decorative screen be constructed at the service area. The objective is to provide an attractive architectural screen that would be a visual block to the coolers located on the west façade. Estimated probable cost: Three thousand five hundred dollars (\$3500).
7. Add signage and landscape screen along the north building façade. Although not historically significant the signage would be informational – at this time the entrance to the building is not readily apparent from the primary parking area. Many of the customers approach from the interstate highway and many times

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are unfamiliar with the restaurant entrance. The redwood screen would serve to soften the north masonry façade and make the restaurant more appealing to the customer. Throughout history wood screens, arbors, and pergolas have been used to add interest to existing buildings. In this particular application plantings would be installed to further enrich the north façade. Estimated probable cost: Four thousand two hundred dollars (\$4200).

8. Replace deteriorated steel lintels at original building. Due to severely deteriorated lintels replacement will be necessary. Estimated probable cost: Two thousand dollars (\$2000).

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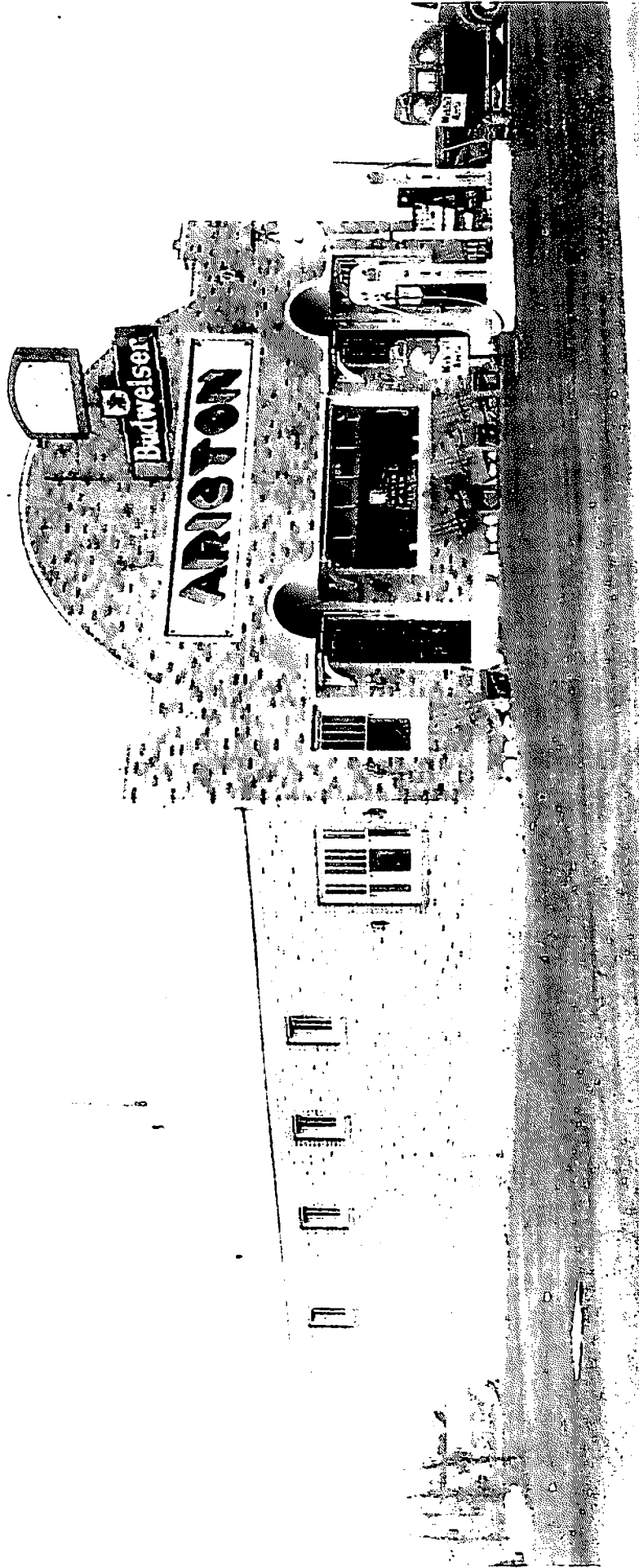
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PHOTOGRAPHIC INDEX AND ASSESSMENT

1. Photo of original building from Route 66.
2. Aerial view of restaurant and area structures.
3. Photo of original 1935 building with roof signage.
4. Photo of the interior of the Ariston with the owner and employees. Estimated date of 1938.
5. Exterior view of the 1935 building – note the American flag above building roof. View from Route 66.
6. Exterior East façade of present building (1975).
7. Photo of West façade of present restaurant building.
8. Exterior photos from North parking area looking southwest at 1974 building addition.
9. View from southwest corner directed at masonry units showing displacement of a number of masonry units.
10. View of partial East wall of 1974 addition showing spawling of a number of face brick units.
11. View of masonry column at Northwest corner of 1935 building. Photo indicates displacement and fractures in the exterior face of glazed masonry units.
12. Photo at window head (1935 building) showing deteriorated steel lintel.
13. Photo at window at Southeast corner of 1935 building showing severe deterioration of steel lintel.
14. View from Southwest corner showing in-fill panel.
15. Photo taken from Southwest corner looking at south façade of 1935 building element.
16. Photo looking south at upper portion of Northwest column.
17. Photo looking north at masonry column and concrete column base.

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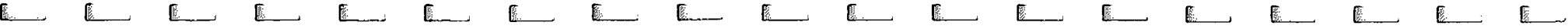
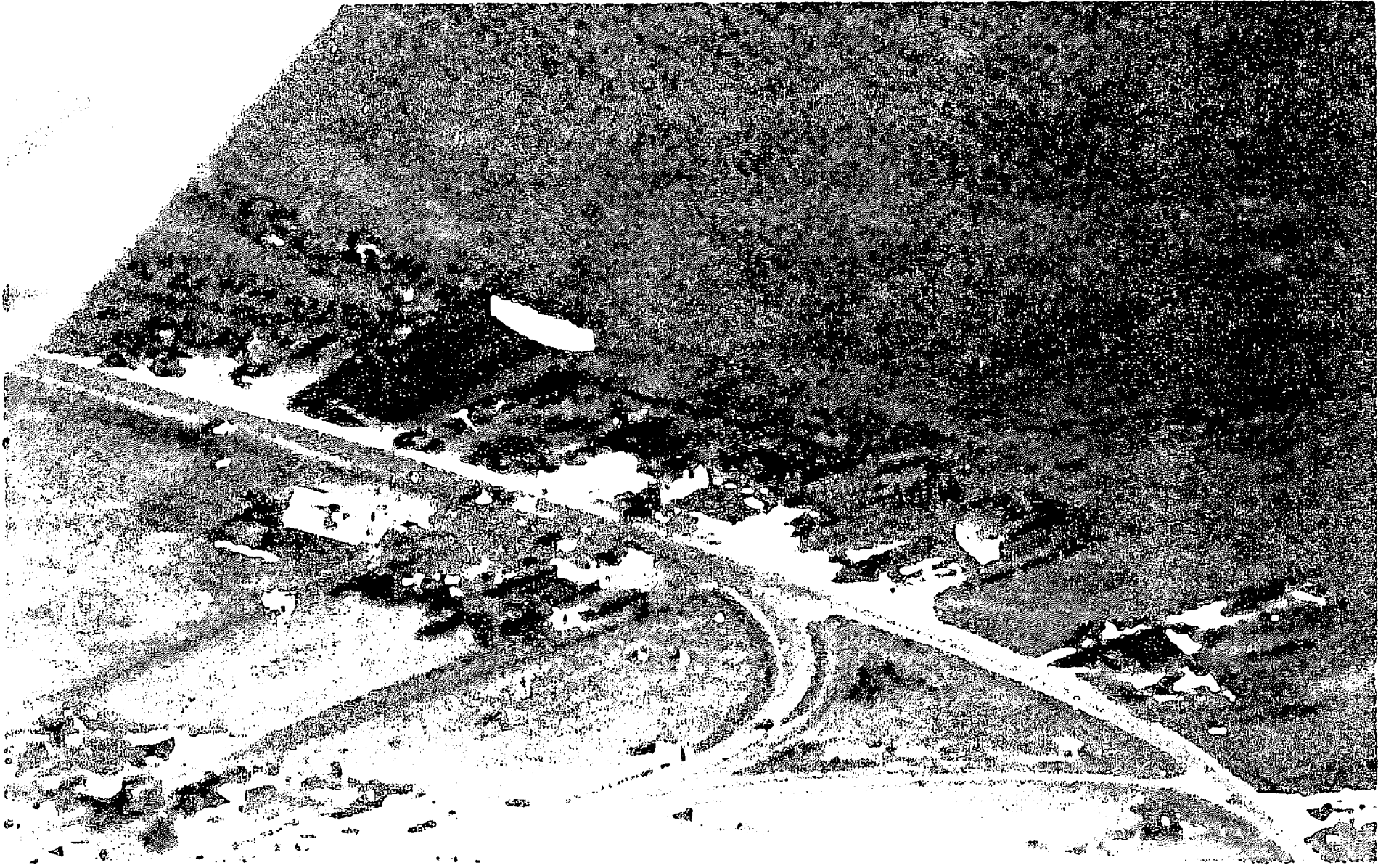
18. Close up view at separation in masonry column.
19. Close up of upper part of Northwest corner of 1974 building addition. Note spawling of face brick.
20. Close up of column showing face fracture in masonry.
21. Close up of column showing masonry displacement.
22. Detail at base of exterior freezer showing fracture of block unit.
23. Foundation wall at freezer from north side of service area.
24. Building as viewed from east (Old Route 66) looking west at building entrance.
25. View looking at corner of 1974 addition.
26. Photo from North parking area toward service entrance.
27. Photo from Ariston looking southeast toward site of the first Ariston location east side of Old Route 66.
28. View of general field of face brick of 1974 building – note spawling of face brick.
29. Photo of exterior of walk-in freezer at Southwest corner of 1935 building.
30. Window head of Southeast window – note deterioration of steel lintel.
31. View of exit door from 1974 building addition.
32. Photo of South façade of 1935 building element.
33. Photo of plaque showing National Register listing.
34. Interior of present dining room in original building.
35. Interior of present dining room looking from southwest to northeast.
36. Interior view toward Southeast corner of dining room.
37. Looking west from original dining area.



ORIGINAL BUILDING 1935

AERIAL VIEW FROM SW EST. DATE 1944

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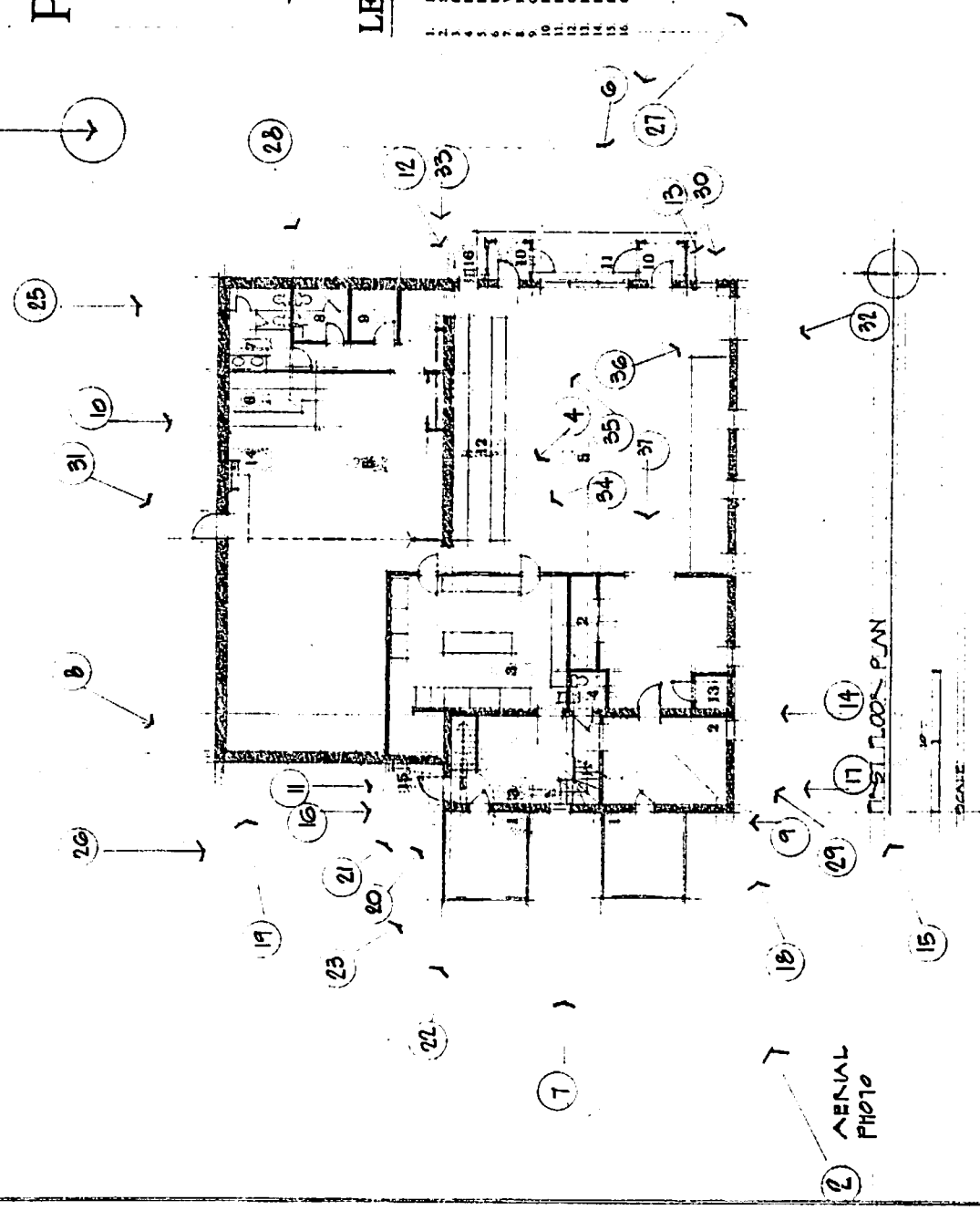


PHOTOGRAPH KEY

PHOTO NUMBER

LEGEND

- 1. Entrance
- 2. Storage
- 3. Kitchen
- 4. Employee Locks
- 5. Dining
- 6. Bar
- 7. Women
- 8. Men
- 9. Coat
- 10. Elevator
- 11. Counter
- 12. Mechanical
- 13. Plumbing
- 14. Partitions
- 15. Electrical Service
- 16. Gas Service



2 AERIAL PHOTO

15 FLOOR PLAN

SCALE

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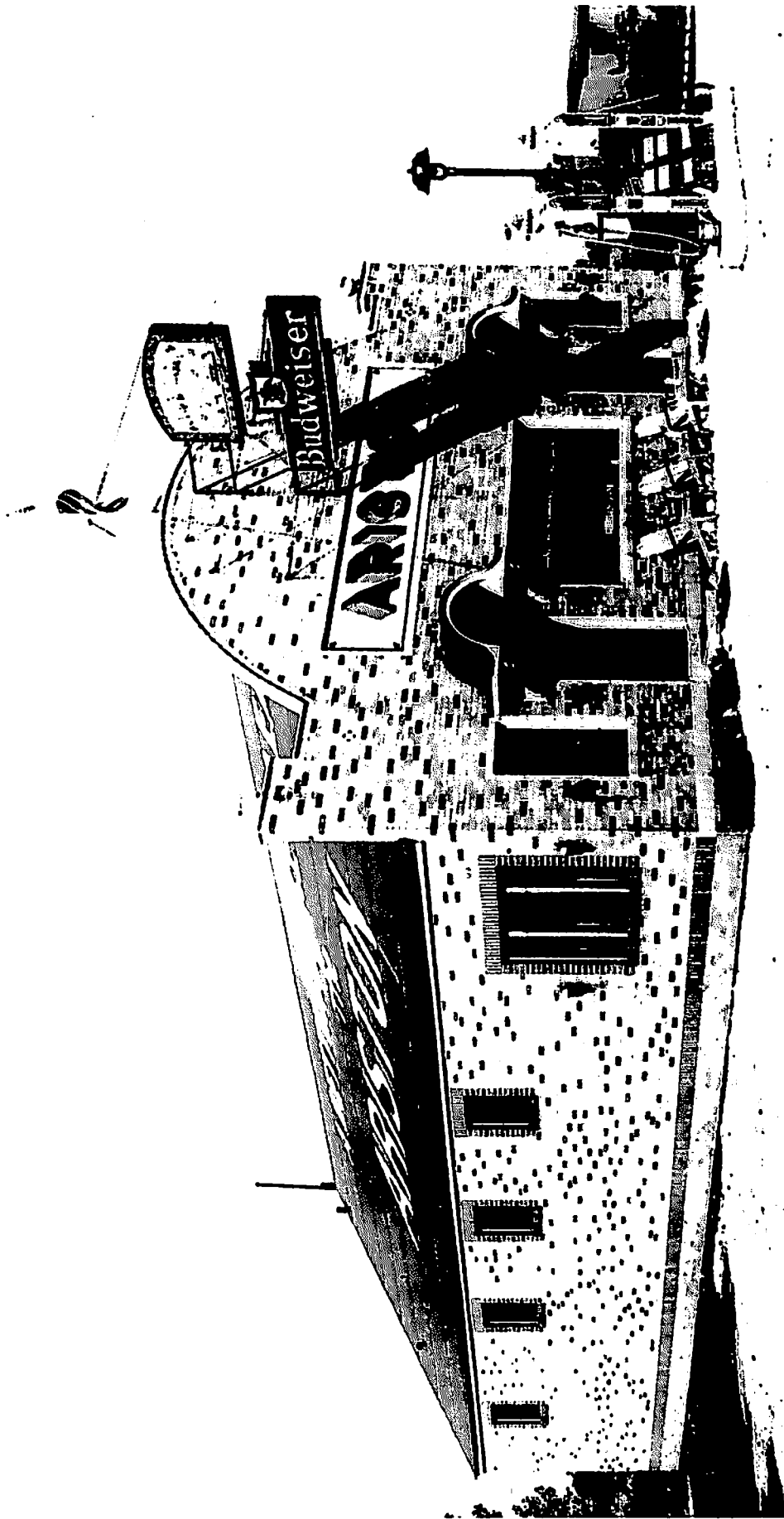
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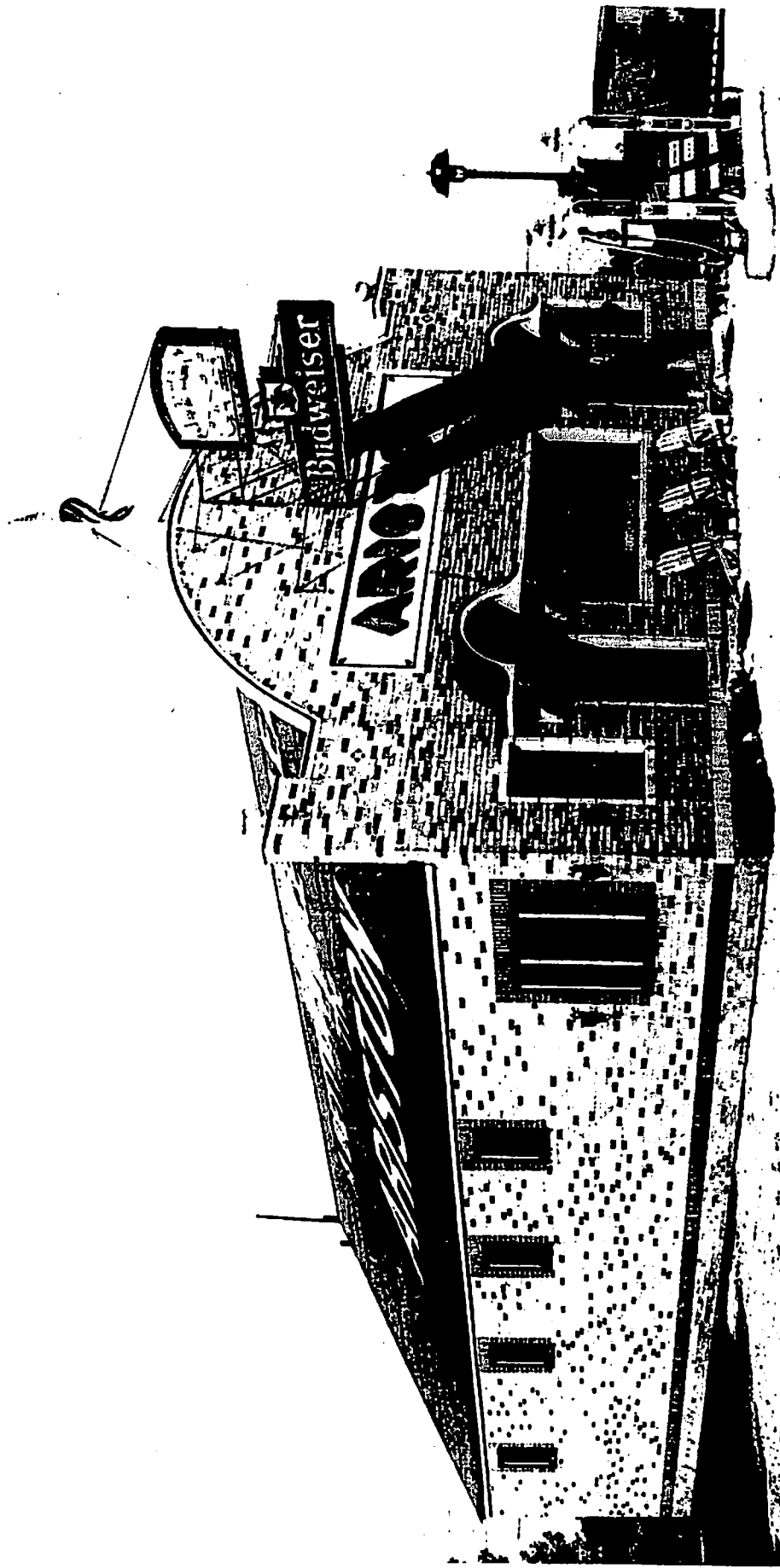


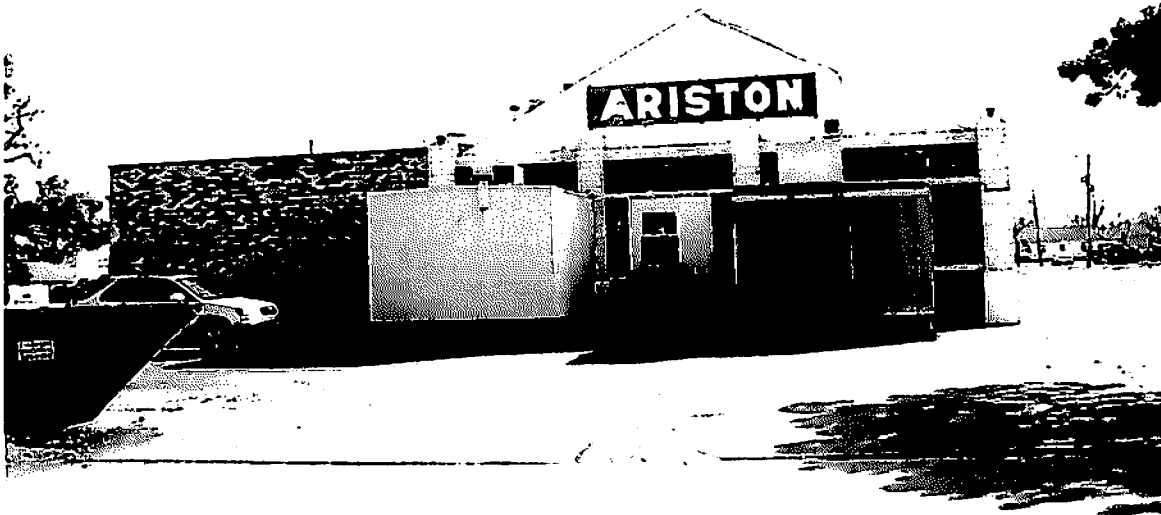


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The ARISTON
"A BETTER PLACE TO EAT
FUNCTIONS U.S. 66 and

ROUTE 16
Ritchfield, Illinois

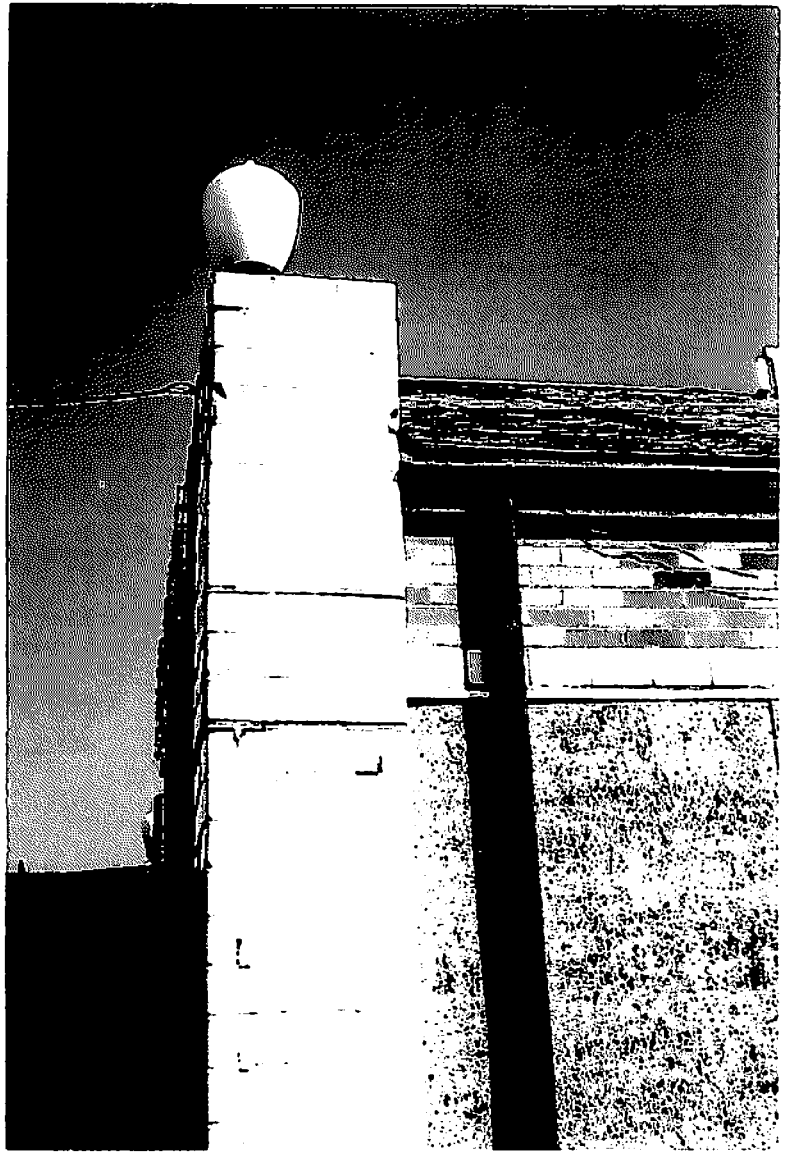




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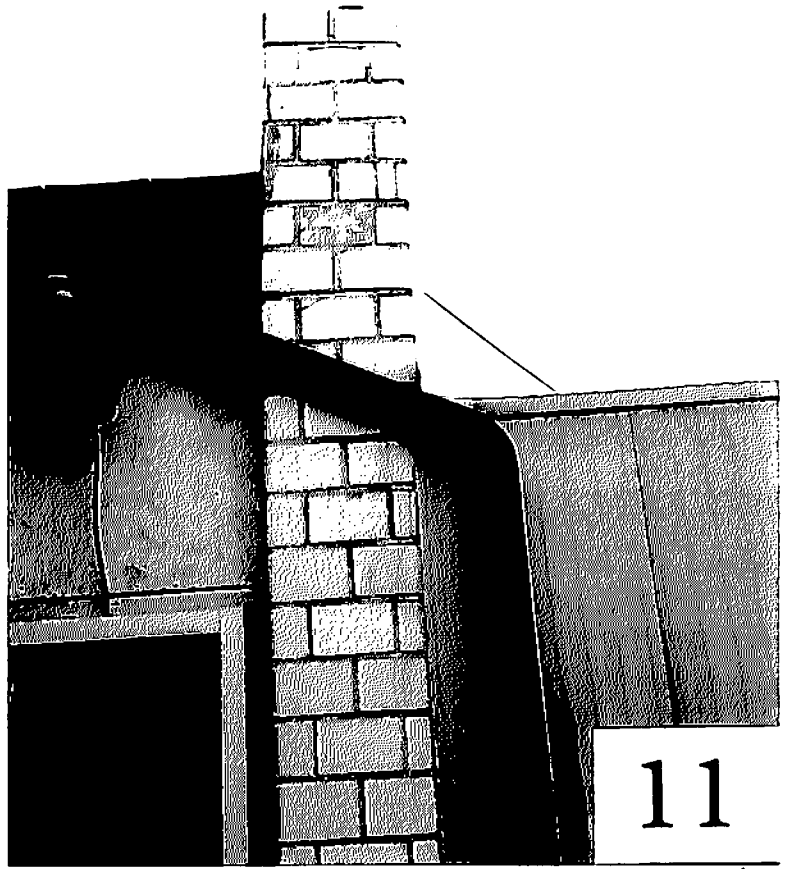
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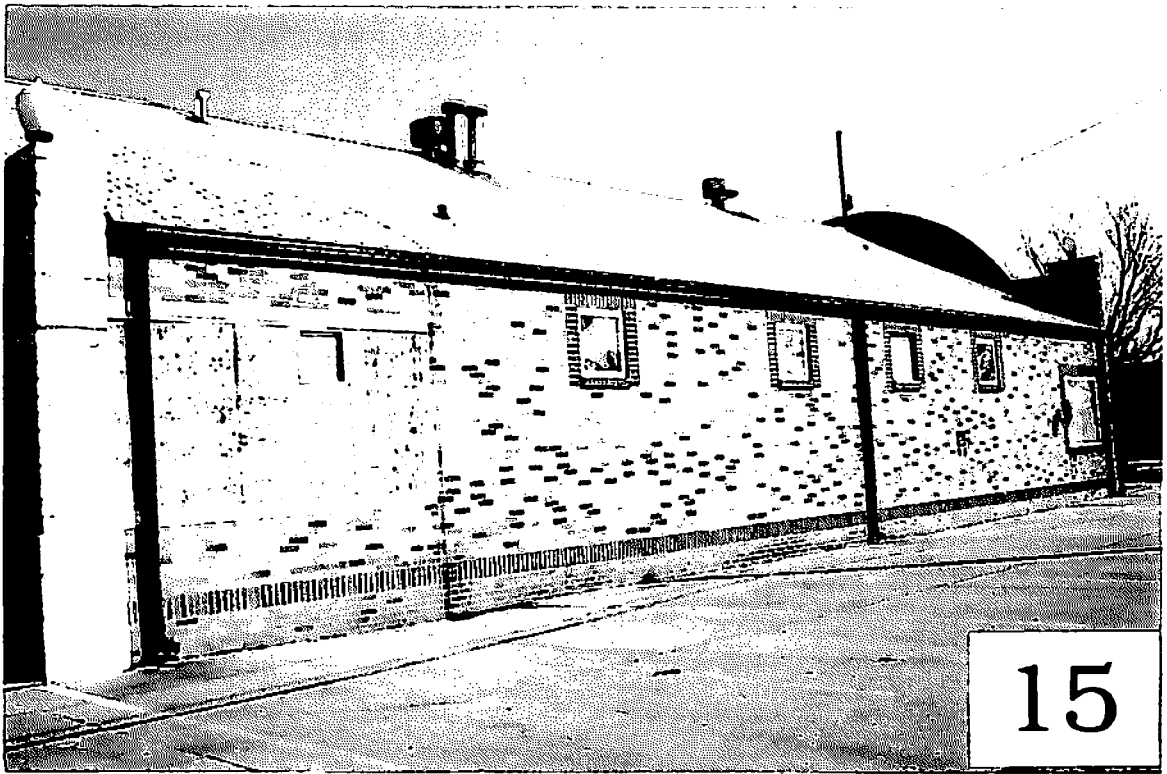
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8









16



17



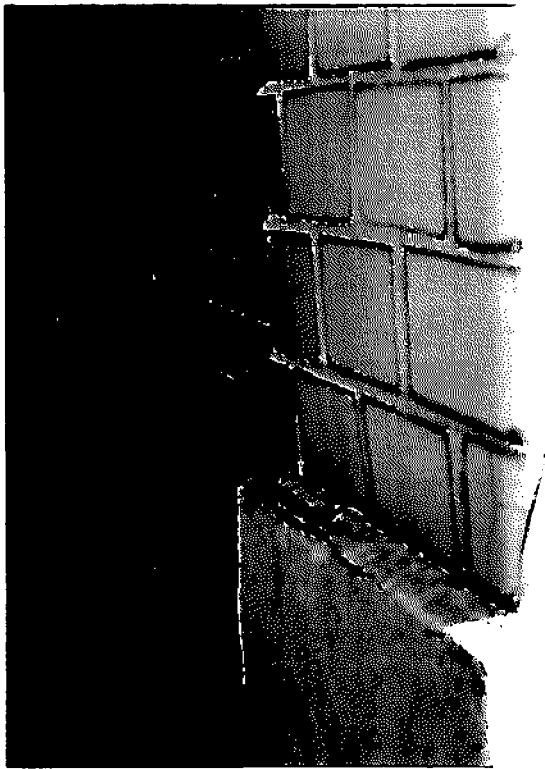
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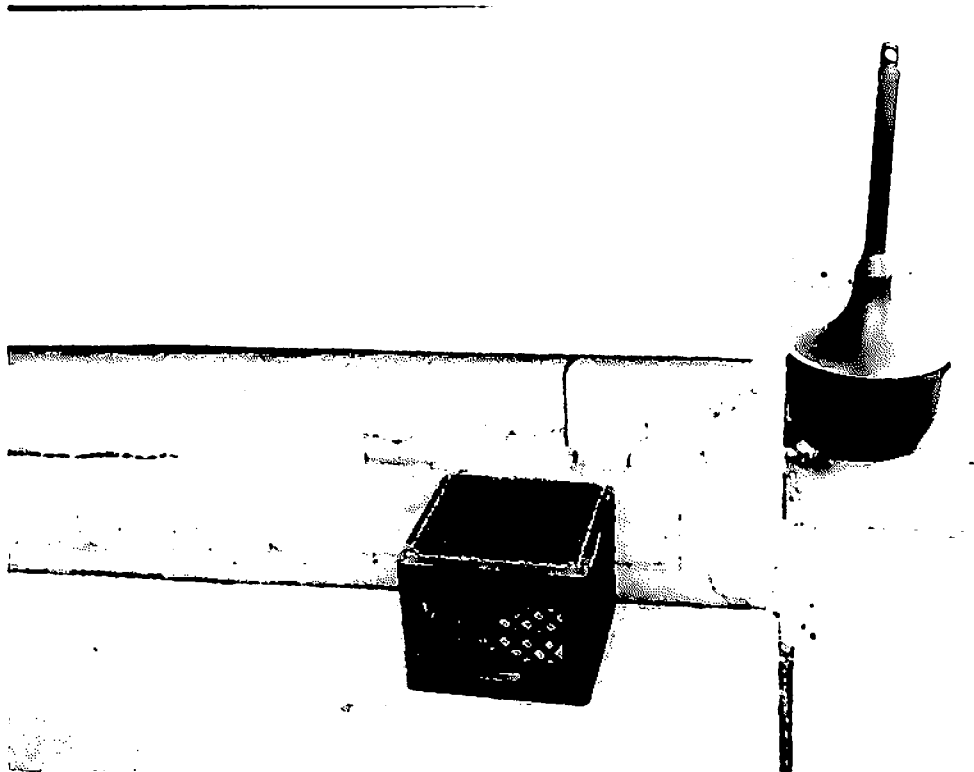
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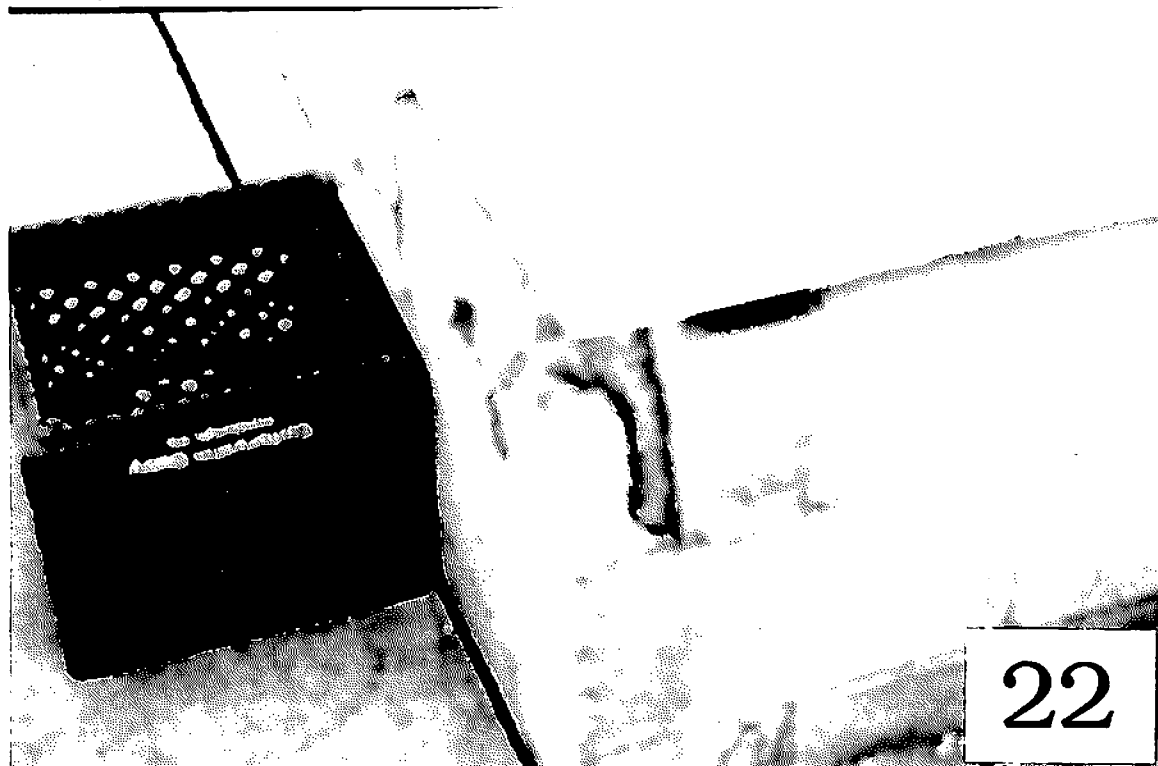
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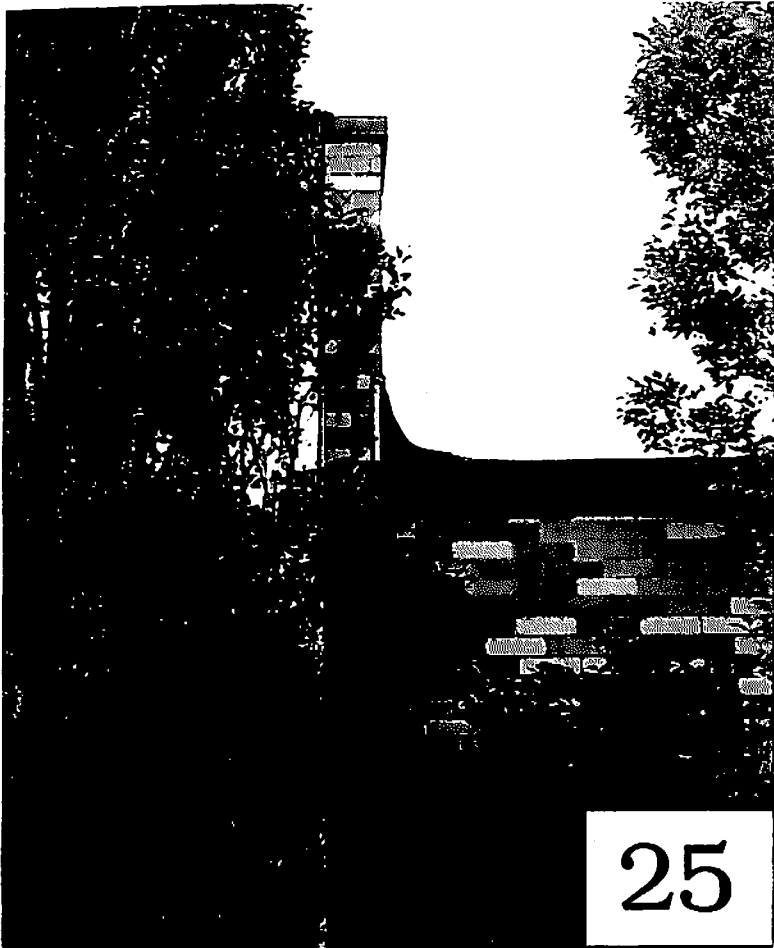
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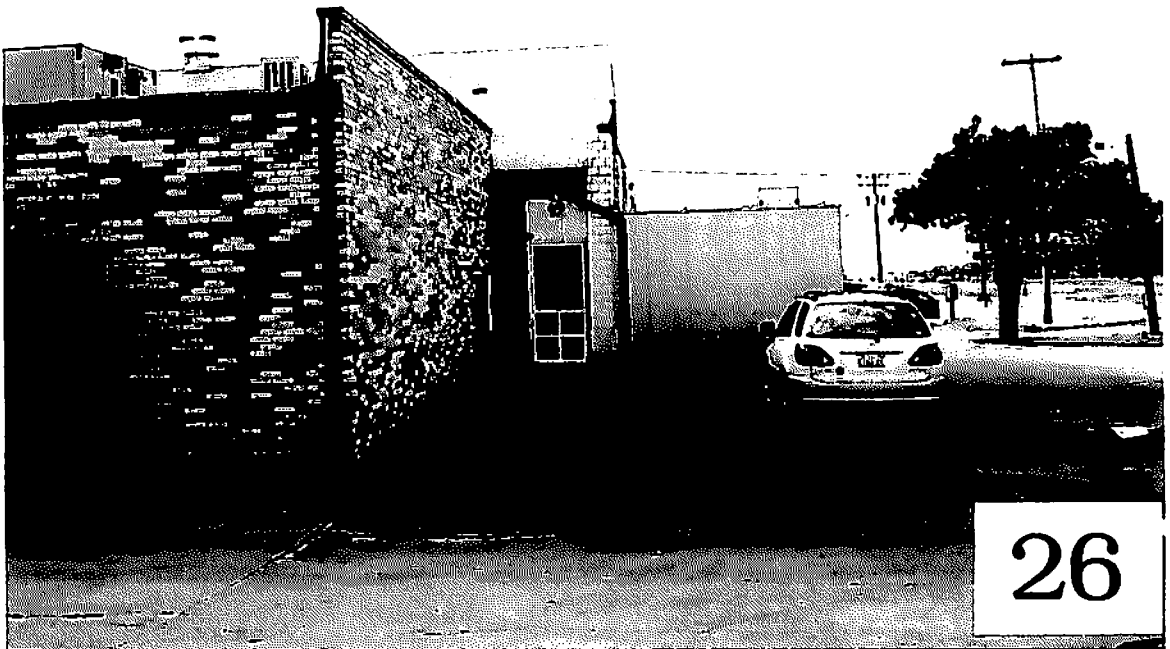
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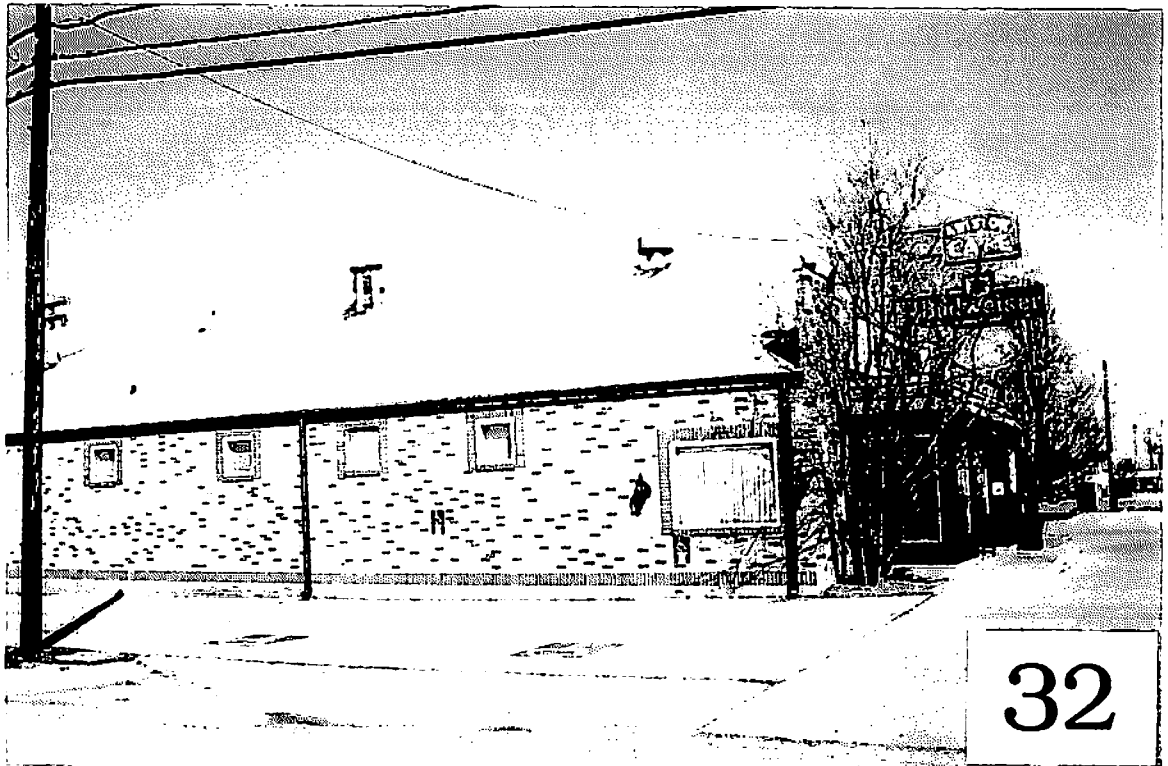




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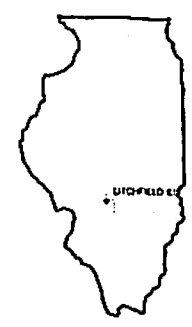
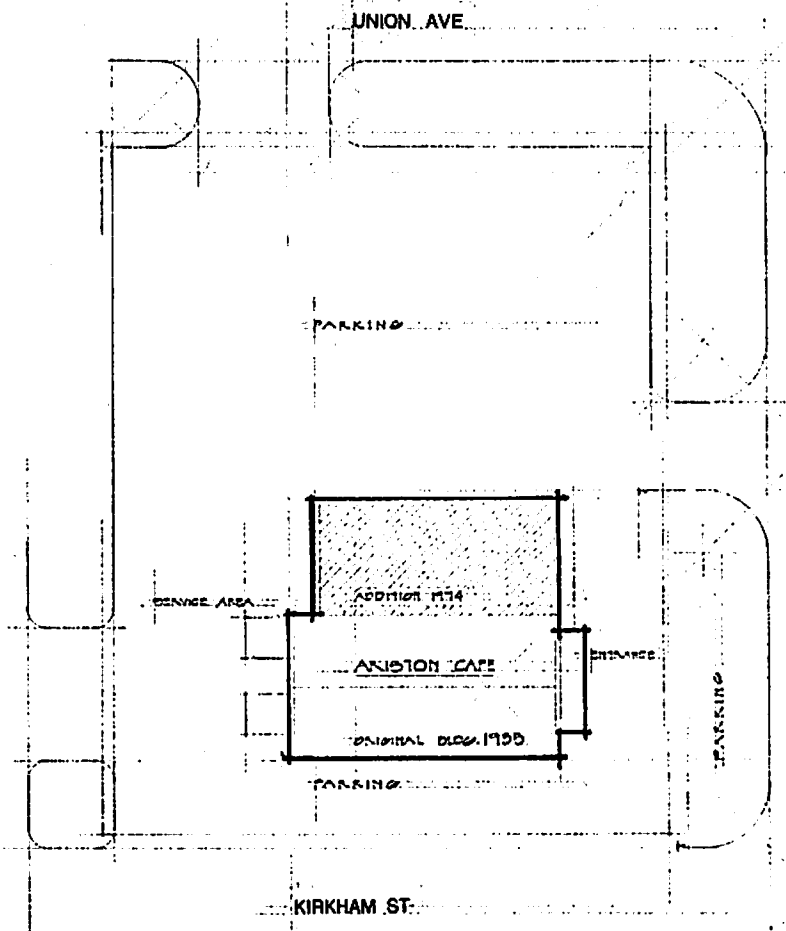
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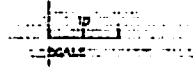


SCHEMATIC PLANS

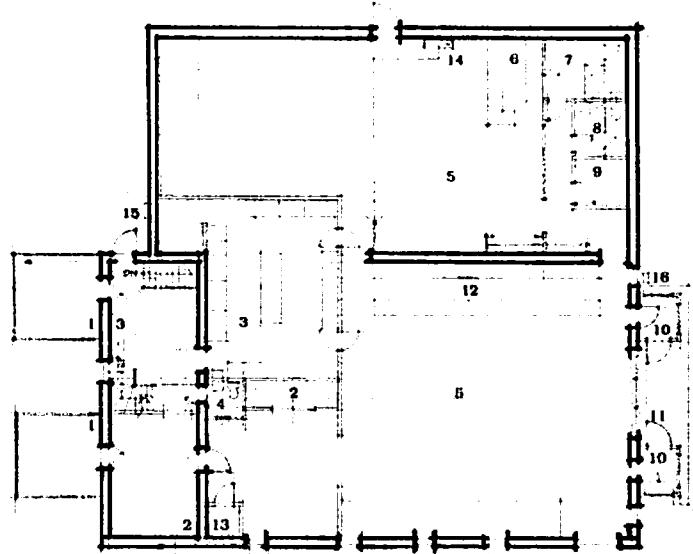


LOCATION MAP

SITE PLAN



Goldsich • Axido Architects and Planners Inc.	
NO.	AK-0021
DATE	10/24/66
HISTORIC	1955-1974
LOCATION	DIXON, ILL.
DATE	24.66
DRAWN	
REVISED	
PROJECT	
SHEET	S..1



LEGEND

- 1 Freeway
- 2 Storage
- 3 Kitchen
- 4 Employee Toilet
- 5 Dining
- 6 Bar
- 7 Women
- 8 Men
- 9 Office
- 10 Foyer
- 11 Ramp
- 12 Counter
- 13 Mechanical
- 14 Folding Partition
- 15 Electrical Service
- 16 Gas Service

FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"



THE
FABRION
CAFÉ

WILMINGTON, DE

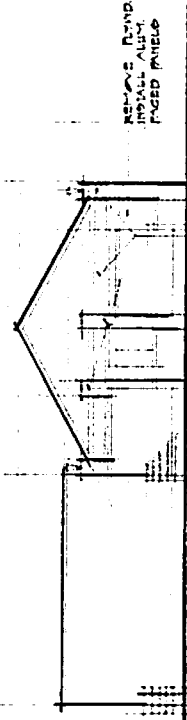
DATE
MAY-01, 2007

DRAWN

REVISED

PROJECT

SHEET
A-1

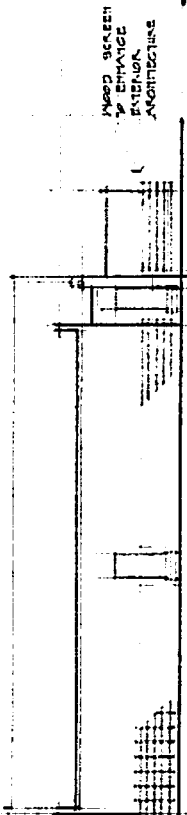


REMOVE BLIND
INSTALL ALUM.
FACED PANEL

REPAIR MASONRY CRACKS
AND RECURVED MASONRY
WORK AT 1st LEVEL
MASONRY JBS.

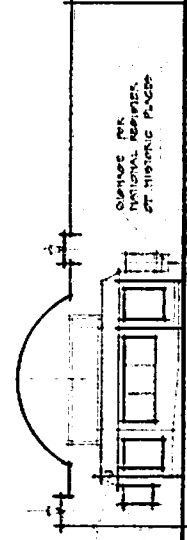
WEST ELEV.

RESTAURANT VIEW FROM
RT 60 N. 100' W.



WOOD SCREEN
BY BRUNNEN
ARCHITECTURE

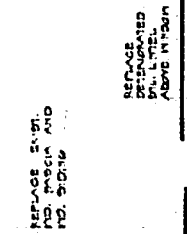
NORTH ELEV.



ORANGE PK.
NATIONAL RESTAURANT
OF HISTORIC PLACES

EAST ELEV.

RESTAURANT VIEW FROM
NORTON RD 600



REPLACE 2'-0"
WOOD PANEL AND
WOOD SCREEN

REPLACE DISAPPEARED
DUAL PANEL
ABOVE WINDOW

SOUTH ELEV.

REPAIR CRACK
BRICKWORK AREA BY
ARCHITECTURAL BRICK
BY W. BRUNNEN

REMOVE & REPLACE
WOOD PANEL
MASONRY