

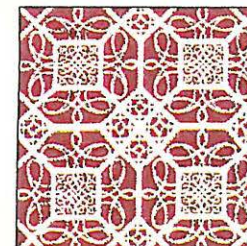
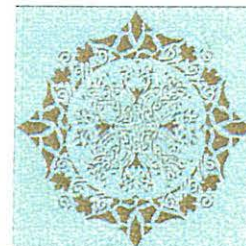
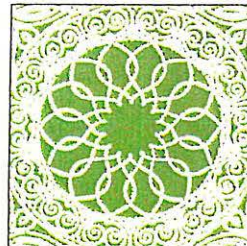
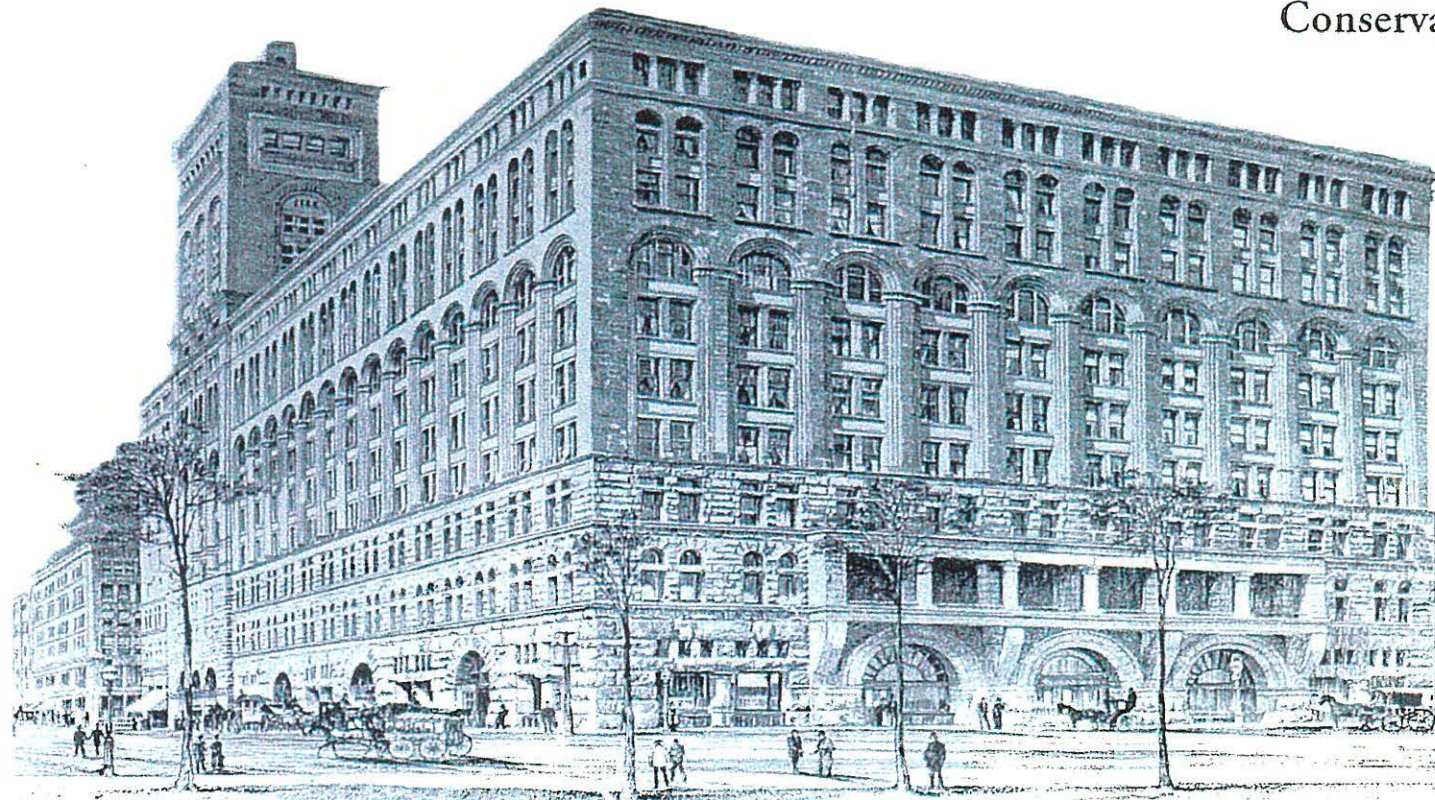
The Auditorium Building

Roosevelt University

Getty Project Preparation Grant - Historic Interior Spaces

Conservation Master Plan

December 2000 Volume I



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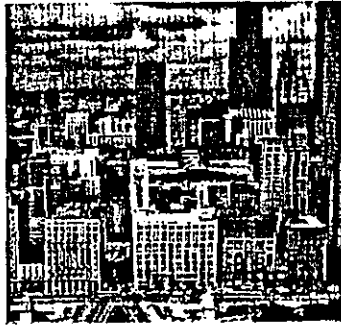
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Structural Conditions Survey
Lighting Restoration Report
Mechanical, Plumbing, and
Electrical System Design Narrative
Preliminary Cost Estimate



The Auditorium Building by Adler and Sullivan was unique in 1889 when it was built as the first mixed-use structure in the country and is still an architectural masterpiece in 2000 as the flagship building for Roosevelt University. The monolithic exterior with a façade of simple, strong, geometric forms housed a complex structure: the hotel and office sections formed a u-shape and ringed the central grand theater. Currently, Roosevelt University's teaching and office spaces occupy the hotel and office areas around the independently-operated Auditorium Theatre. The building's exterior solemnity belied an interior of elaborately detailed public spaces. What once were grand entrances

to a hotel and offices were converted to the university entrances. Similarly grand hotel lounges and banquet halls have been transformed into comfortable student lounges, reading rooms and recital halls. Since their ownership began in 1946, Roosevelt University has undertaken many restoration and rehabilitation projects to both preserve significant architectural spaces and adapt these spaces to the needs of a constantly dynamic university, its students and faculty.

This study created as a Project Preparation Grant for The Getty addresses eight significant historic interior spaces in the Auditorium Building. We have assessed current physical and organizational needs and incorporated updates from previous historic surveys. Roosevelt University has just completed a Strategic Plan which analyzes space and resource allocation for the entire Auditorium Building for the next five years. Working with those broad parameters as a framework and using the Secretary of the Interior's Standards, this study focuses on the main extant interior

Executive Summary

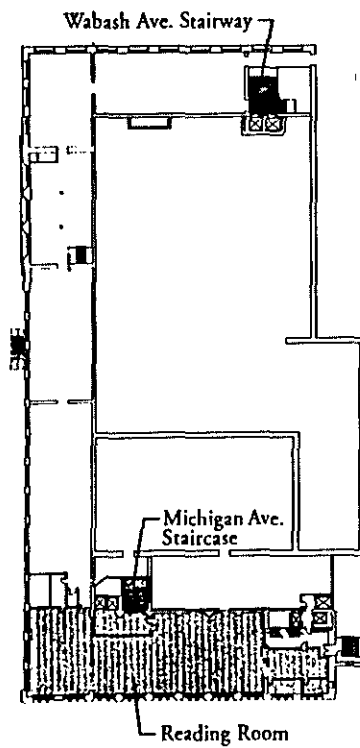
spaces which are historically significant and are in various states of disrepair. This report outlines, room by room, restoration needs as well as certain rehabilitation goals to allow for current usage. Infrastructure and exterior building envelope requirements are addressed as pertains to these rooms and are part of the overall strategic plan.

The goal is to restore this nineteenth century Chicago masterpiece and have its masterful Sullivan ornament inspire students in the twenty-first century. This report outlines the steps needed.

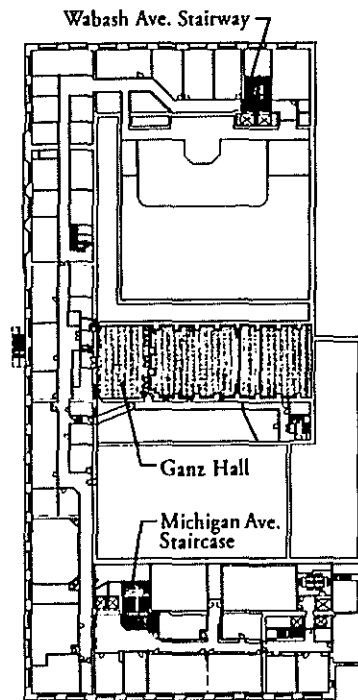
For additional information regarding the history of the Auditorium Building please refer to the additional resources in the Bibliography. For a true understanding, please visit the building which is located at the northwest corner of Congress Parkway and Michigan Avenue in downtown Chicago.

Our thanks and appreciation extends to all our consultants, and Mr. Gary Zullo and the Physical Resources Department Staff at Roosevelt University, Ms. Kathleen Cummings, Mr. Matt Luczak and Mr. Tim Samuelson.

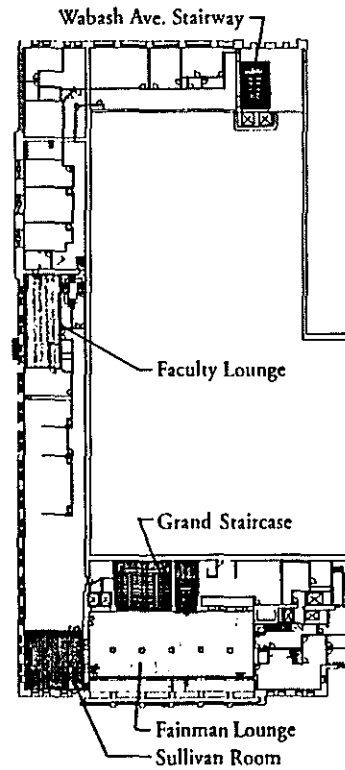
Location Plan



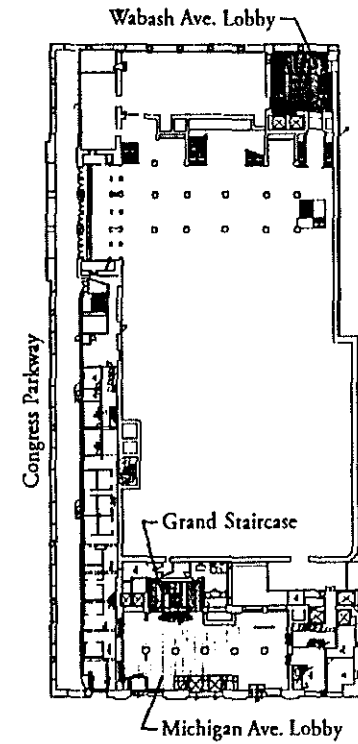
Tenth Floor



Seventh Floor



Second Floor



First Floor



Team Organization

Project/Client

Roosevelt University

Architecture

Booth/Hansen & Associates

Larry Booth, FAIA, Principal

David Mann, Project Supervisor

Diane Zabich, Project Architect

Wade Bacon, Intern Architect

Amy Wysocki, Intern

Conservation Consultant

Vinci/Hamp Architects

John Vinci, FAIA, Principal

Phil Hamp, Principal

Structural Consultant

Wiss, Janney, Elstner Associates, Inc.

Jeff Koerber

Mechanical, Plumbing,

Electrical Consultant

Ketchmark & Associates, Inc.

Dana Ketchmark, President

Lighting Consultant

Schuler & Shook, Inc.

Allyn Vodicka

Historic Finishes Consultant

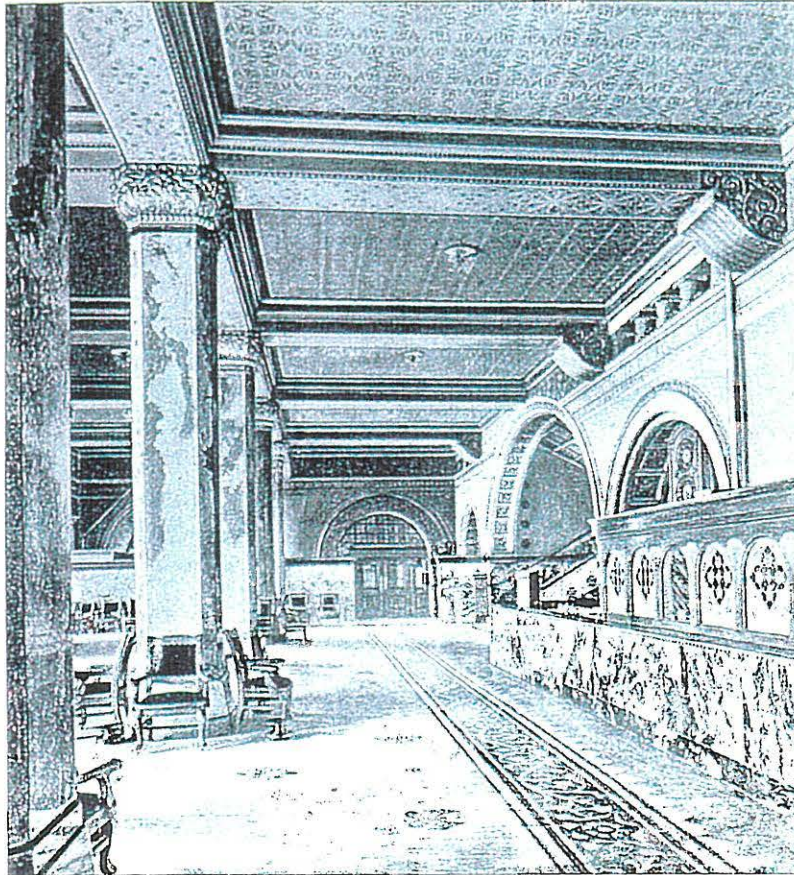
Robert Furhoff

Cost Consultant

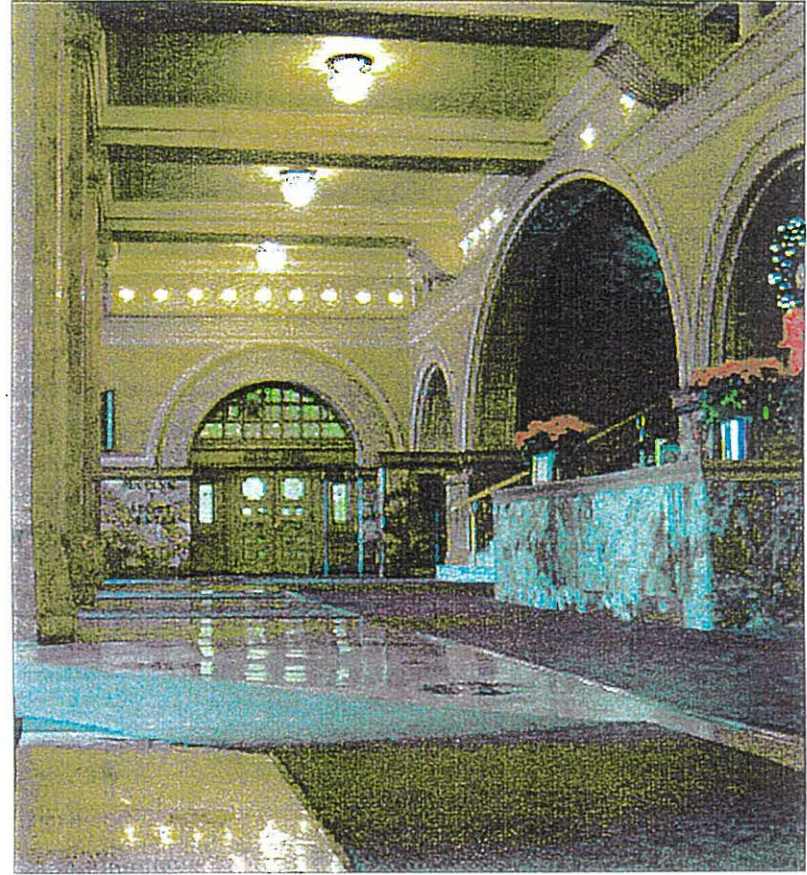
Construction Resources & Management

Jeff Hodgetts

Michigan Avenue Lobby



Original Condition



Current Condition

Original Use

Present Use:
Roosevelt University Main Entrance

Original Use:
Hotel Lobby

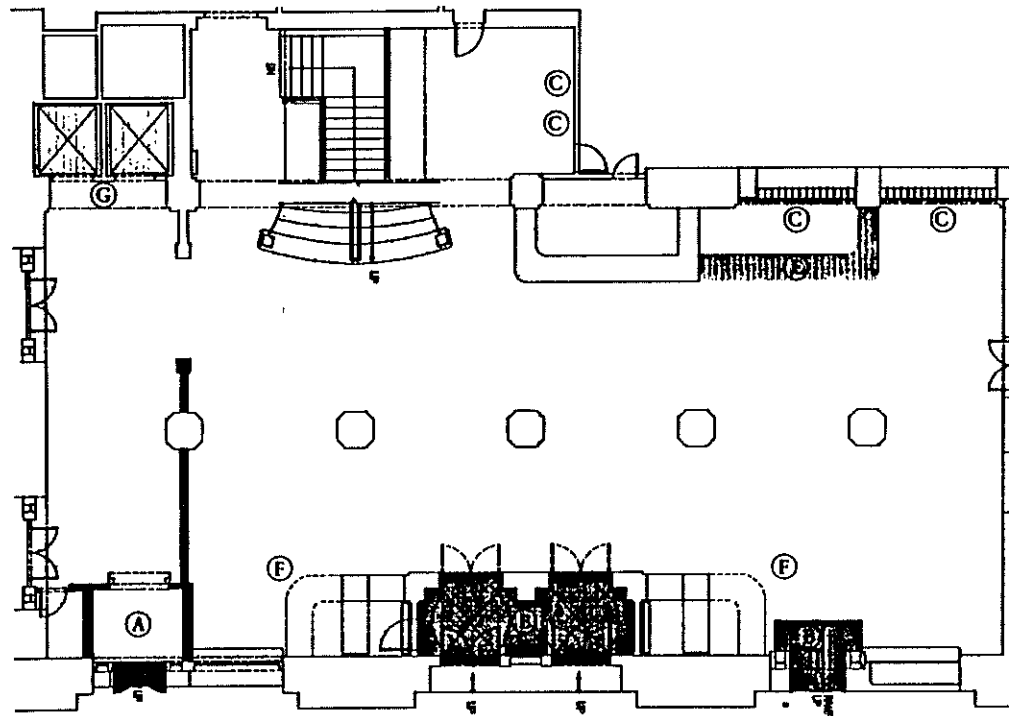
Location:
First Floor

In the nineteenth century, the main entrance to the Auditorium building on Michigan Avenue led into the spacious and lavishly decorated Hotel Lobby. This area was designed to receive the hotel's guests and visitors to Chicago. The main entrance projected into the lobby and was surrounded by various stands. Between the two main doors there originally stood a small area enclosed by an ornate, gilt iron railing. This area was attended by a livery man who furnished the guests of the hotel with carriages. To the south of the doors stood the Union Ticket Office; to the north, stood the news and cigar stand. In front of the main entrance was the hotel registration desk. The desk was covered in onyx and topped with oak. The north half of the desk was surmounted by an oak partition which contained five stained glass windows. In the center of the partition was an opening where the hotel guests paid their bills.

At the north end of the Hotel Lobby were two openings, one leading to the men's reading room and the other, enclosed by a set of oak doors, led to the porter's area. The south end of the lobby contained a separate ladies' entrance. This entrance, partially enclosed by a seven-foot partition wall covered in onyx, led to the ladies' restaurant and the elevator.

Today this area is the grand main entrance lobby for Roosevelt University.

Alterations to Original



Existing Plan - Michigan Avenue Lobby, First Floor

0 1 5 10 feet
N

1779 Ladies entrance closed.

- Partition wall removed.
- Partition wall onyx used to face replacement candy stand.
- Mosaic floor under partition wall patched.
- Window near entrance replaced with a door.

1781 Doors

- Main double doors replaced with revolving oak doors.
- Handicap ramp and entrance installed at north bay.

1782 Two stained glass lunettes to north of desk and two stained glass double-hung windows in wall to west of desk removed.

- ### **D.** Original ceiling stencils covered.
- Replaced with stencils on vinyl.

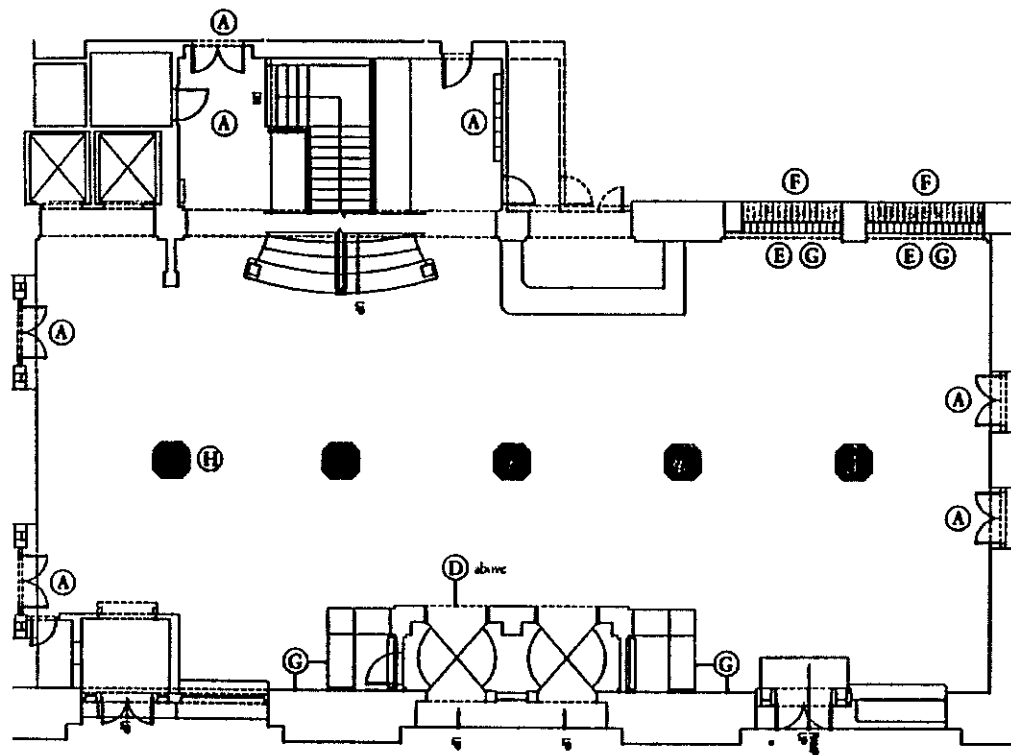
- ### **E.** North portion of registration desk removed.

- ### **F.** Curved walls around cigar stand, newsstand and tickets removed.

G Elevators

- Manually operated hydraulic replaced with automatic electric cabs in 1950s.
- Oak and stained glass doors and surrounds disassembled.





Plan, Remodeling - Michigan Avenue Lobby, First Floor

N
0 1 5 10 feet

Remodeling/Partial Restoration, 1973

*Brenner Danforth and Rockwell
Daniel Brenner, Architect
Marion Gutnayer, Architect for
Roosevelt University*

*In connection with construction of
the Walter E. Heller Center in
the light-and-air court between
the Michigan Avenue hotel wing
and the Auditorium Theater,
many changes were undertaken
in 1973.*

A. Doors

- Original oak door at north (west) entrance of room relocated to the north (east) opening.
- Entrance to this east (reading) room was originally open.
- Wooden latticework above the original placement of the door was reproduced and installed above the door's new location.
- Doors to the south end of the lobby were fabricated to match the doors at north end of lobby.
- New doors and a partition wall were added behind the grand staircase. Payphones added.

B. Flooring

- Rubber-tile flooring was removed to expose the marble-mosaic flooring.
- Repaired mosaic floor using marble tesserae found in basement.
- Area carpet to protect damaged tile in high traffic areas.

C. New light fixtures installed in center of the coffers.

- Fixtures did not harmonize with the character of room and distracted from Sullivan's decorative scheme.
- Lighting was subsequently restored that approximated the original in 1997 by the office of John Vinci.

D. Damaged oak grills concealing heating units above the lobby entrance were recreated in masonite.

E. Oak paneling and trim were stripped, bleached, refinished.

- Character of grain and richness of original color lost.
- New stain much lighter than the original.

HT Mailboxes installed on west wall adjacent to main desk. University mailroom located behind, in the light-and-air court.

G. Imitation onyx painting

- Applied to walls where damage occurred around the main entrance.
- Applied around mailboxes to continue decorative onyx.

HT Interior finishes

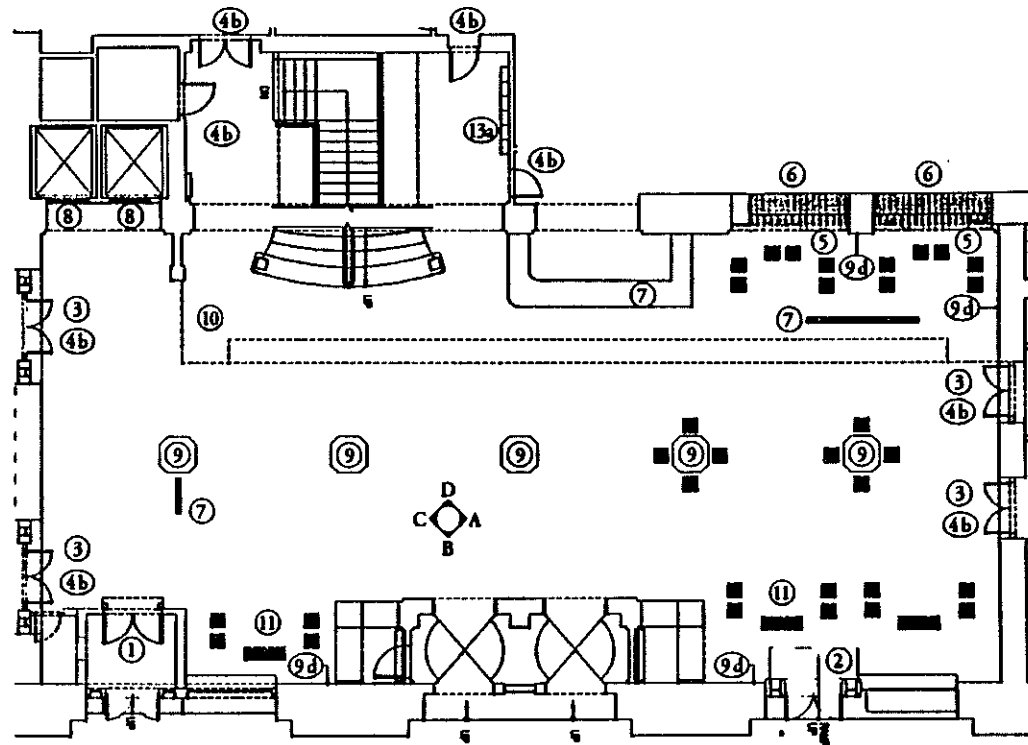
- Cleaned scagliola columns at north end of room.
- Column capitals painted gold to simulate original gold leaf.
- Plaster cornice painted a light ivory.
- Lower leaf molding and beading on corbels were accented with gold paint.
- Walls painted light rose/brown.
- Stencils were reproduced by silk screening on vinyl, then installed on the ceilings and the bottoms of beams.

Note: for more detailed descriptions of previous alterations and restorations, in all rooms, refer to Vinci-Kenny's "Adler and Sullivan's Auditorium Building...", May 1977.

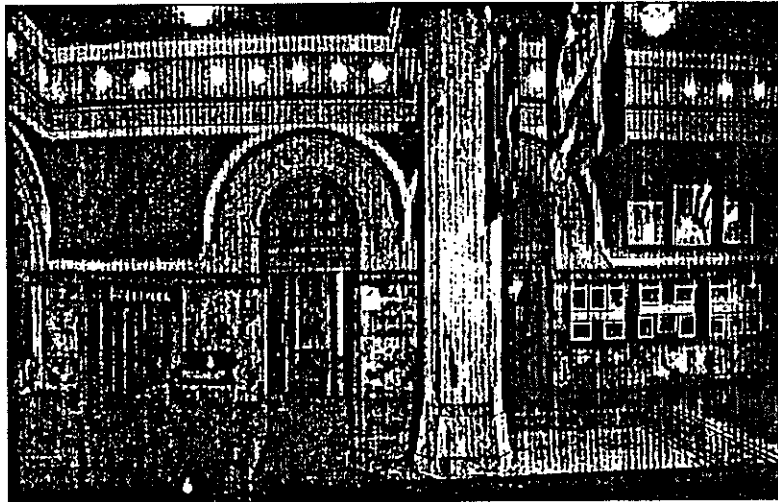


Preliminary Recommendations

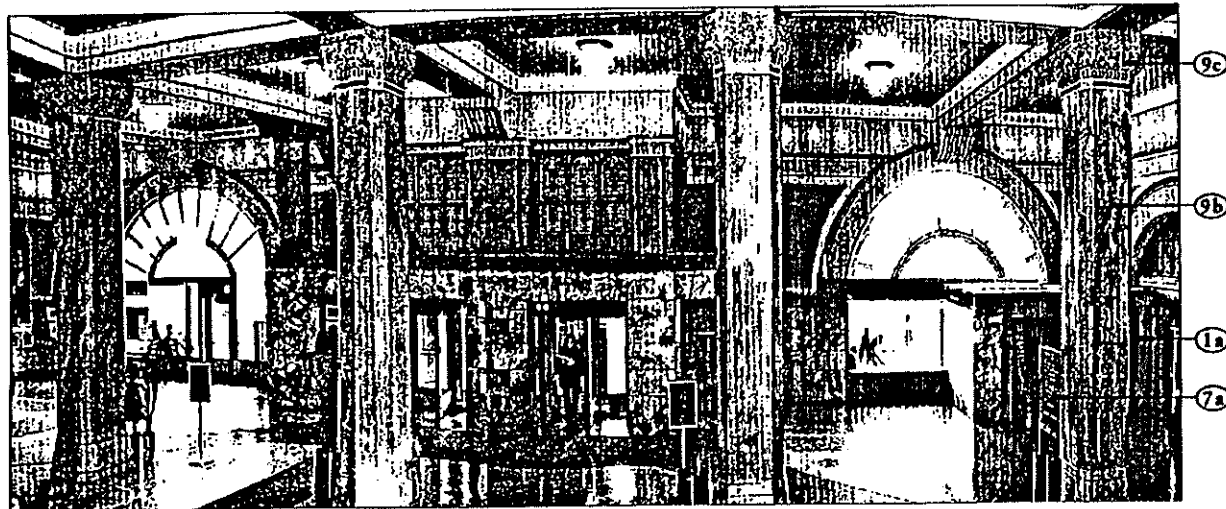
1. Reconstruct south entrance to be ADA accessible.
2. Restore north exterior bay.
 - Remove accessible door, ramp.
3. Doors
 - North wall: Reproduce west door to match east door.
 - South wall: Reproduce doors to match original.
4. Restore wood to original color.
5. Research history of stained glass windows in the lunettes.
6. Remove mailboxes.
7. Remove directories and replace with less obtrusive models.
8. Reconstruct panelling around the elevator doors.
9. Clean and restore scagliola plaster columns and "onyx" wallpaper.
10. Remove fixed carpeting. Restore and infill marble mosaic flooring.
11. Reintroduce seating groups, incorporating furniture similar to the original design.
12. New heating and cooling system-see "Mechanical".
13. Maintain restored lighting-see "Lighting" section.



Plan, Recommendations - Michigan Avenue Lobby, First Floor

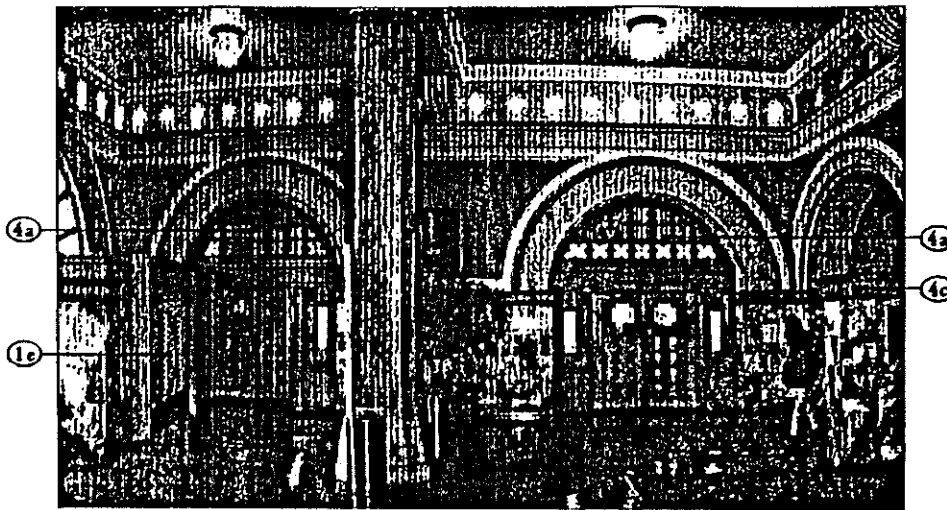


A - View looking North



B - View looking East

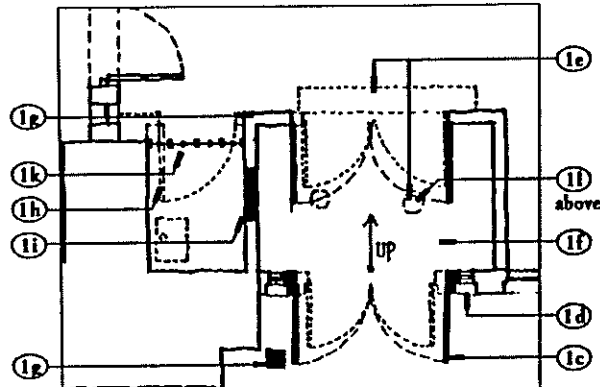




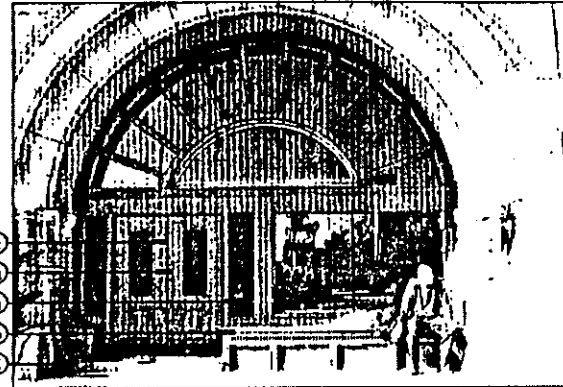
C - View looking South



D - View looking West



Proposed plan of revised Michigan Avenue South entrance



Current condition of Michigan Avenue South entrance.

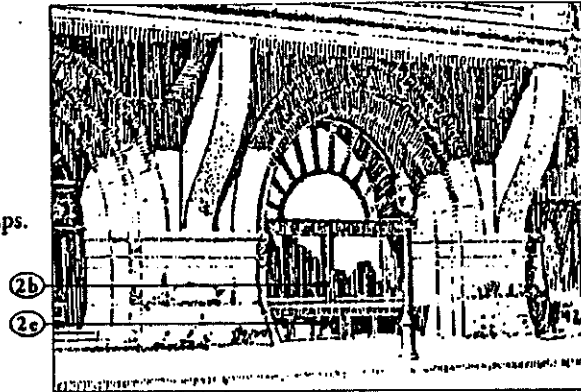


Interior view of Michigan Avenue South entrance

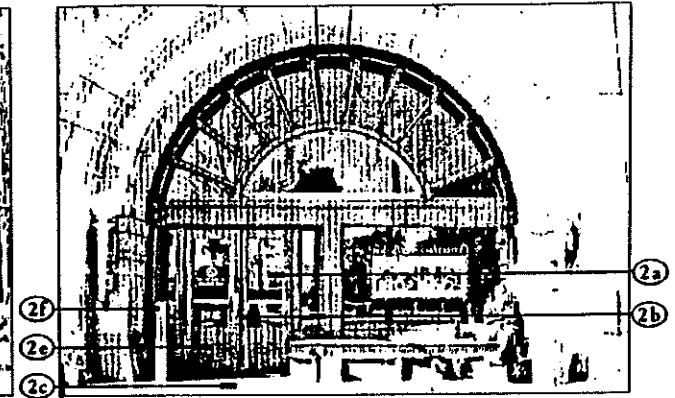
1. Reconstruct south entrance to be ADA accessible.
 - a. Reconstruct exterior cast metal storefront panels to accommodate wider doors, narrower side lites (retain center stile and header). Weather seal per current standards.
 - b. Cast metal panels for shorter north bench, remove south bench.
 - c. Install new exterior glass panel, oak doors with similar panelization to existing, with 3' - 0" leaves and clear safety glass. Hardware to be historic light-oxidized silver.
 - d. Install new side lites.
 - e. Remove metal grate and wood frame. Install new pair interior oak doors to match exterior.
 - f. Install new sloped (1:20) lightweight concrete flooring with mosaic finish floor.
 - g. Install electronic push pads at exterior and interior.
 - h. Remove adjacent door, wall, sink.
 - i. Infill stud wall, face with onyx.
 - j. Repair interior mosaic floor and any adjacent woodwork.
 - k. Install new metal decorative grille.
 - l. Install new lighting and mechanical in vestibule.



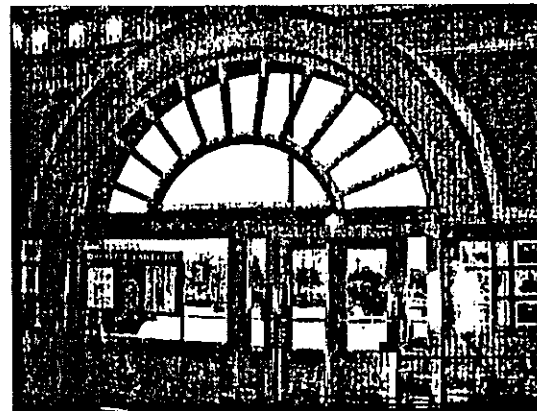
2. Restore north exterior bay.
 - a. Remove accessible door, lites.
 - b. Install insulated glass panel and cast metal storefront to match existing. Weather seal per current standards.
 - c. Level interior and exterior ramps.
 - d. Repair interior mosaic floor.
 - e. Extend cast metal bench.
 - f. Remove electronic push pads.



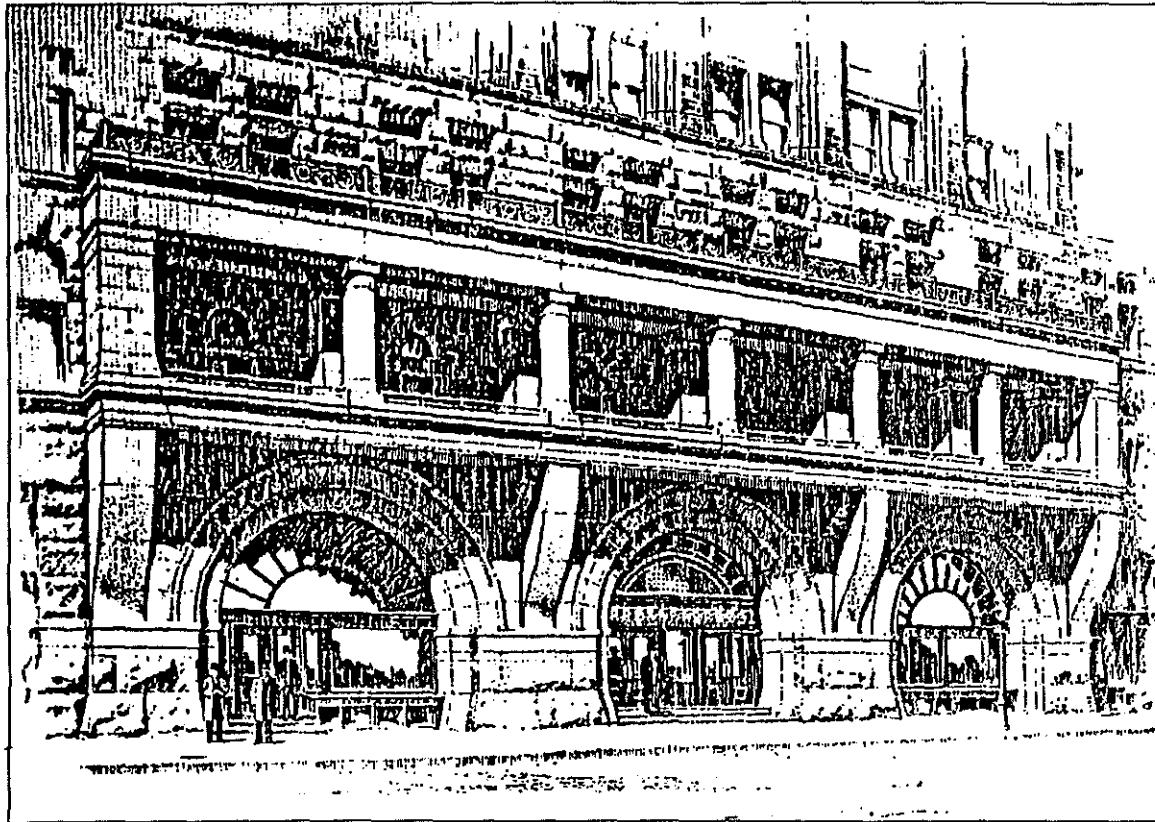
Original Condition of Michigan Avenue North entrance. (Garczynski)



Current condition of Michigan Avenue North entrance.

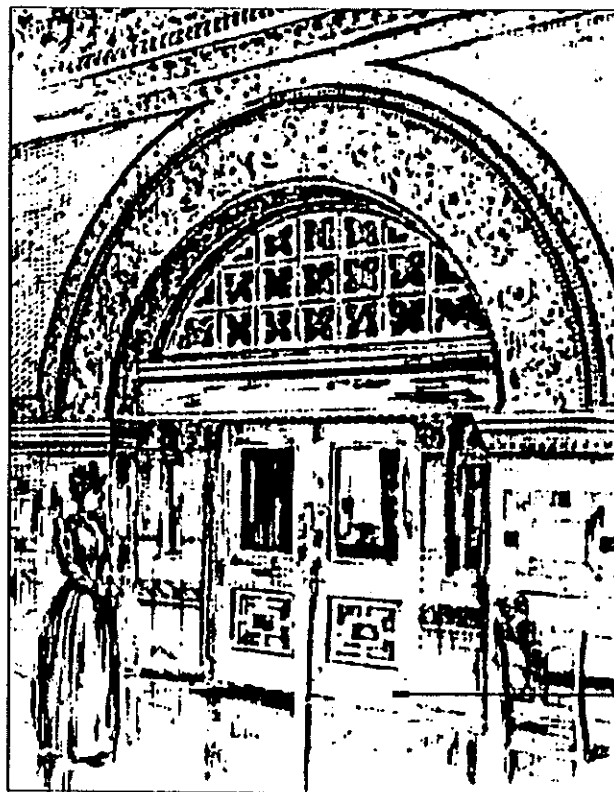


Interior view of Michigan Avenue North entrance.

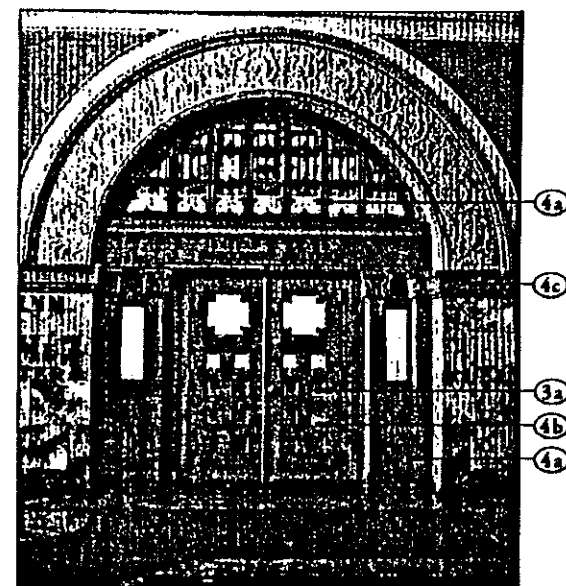


Original Condition of Michigan Avenue entrance. (Garczynski)

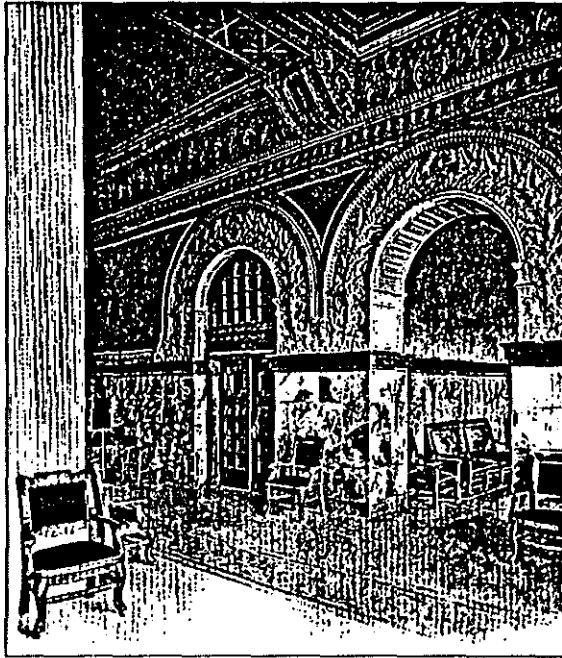




Original design of the doors on the south lobby wall. (Garczynski)



Current design of the doors on the south lobby wall.



Original placement of the doors on the north lobby wall. (Garczynski)



Current placement of the doors on the north lobby wall.

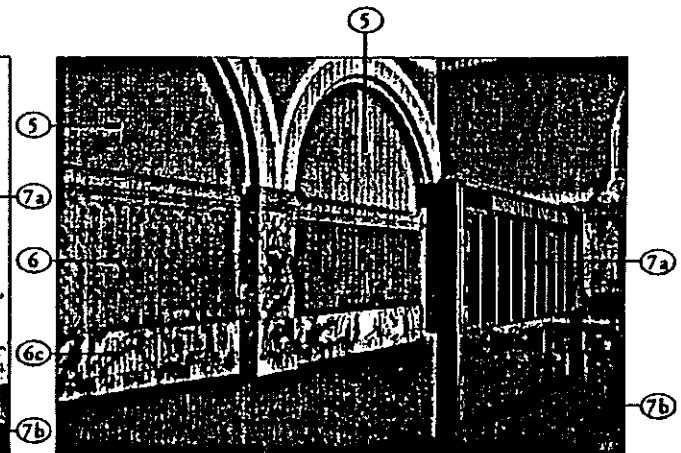
3. Doors
 - a. South wall:
 - Install two pairs of oak panel doors to match original. Use door leading to service closet and historic photo as templates.
 - b. North wall:
 - Duplicate oak panel double doors from east entry and install in west entry.
 - c. Hardware to be light-oxidized silver.
4. Restore oak and restain to approximate original color.
 - a. Tympanum, lintel, columns, and framing at north and south doors (4).
 - b. All doors (including doors at first landing of Grand Staircase)
 - c. All dado molding (360 l.f. x 1 ft.)



5. Research and interpret the design of stained glass windows in the lunettes. Construct and install two new windows. Each window to have a border composed of squares set with molded glass jewels, as shown in Louis Millet sketch. A small fragment of the window exists.
6.
 - a. Remove mailboxes.
 - b. Infill the wall with stud framing and gypsum board. Insulate.
 - c. Create faux finish onyx on plaster to match existing onyx in color and veining.
7.
 - a. Remove two fixed directories.
 - b. Repair mosaic floor as needed.
 - c. Install flat screen computer monitor at front desk.



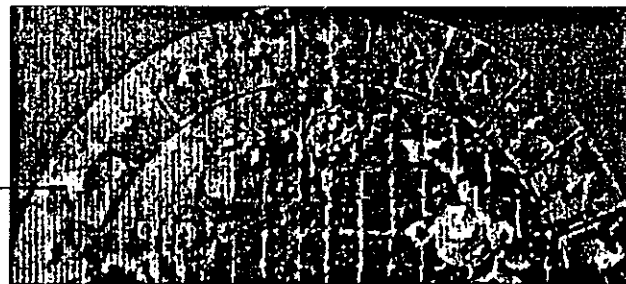
Current condition of southwest corner of lobby.



Current condition of northwest corner of lobby.



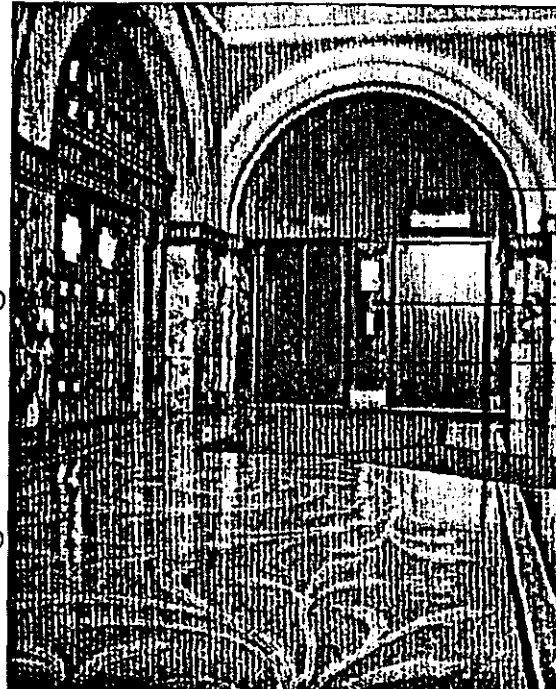
Detail of preserved arch lunette.



Original sketch of lobby arch lunette by Louis J. Millet.



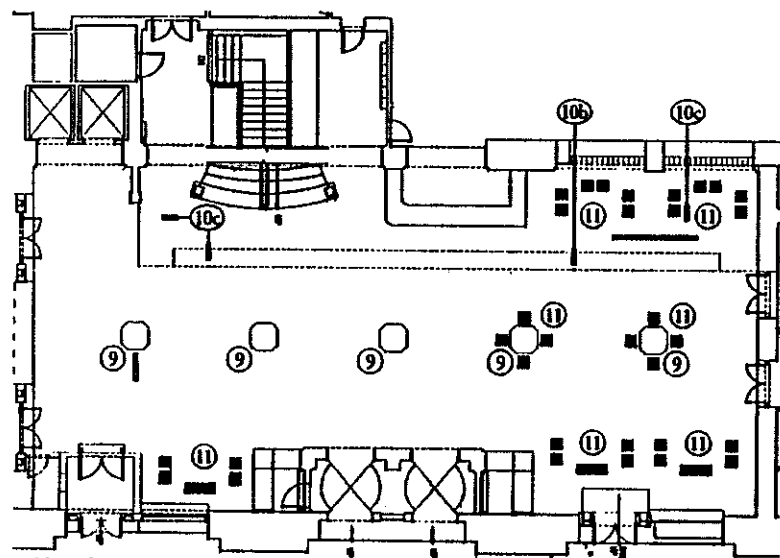
Original condition of elevator vestibule. (Garczynski)



Current condition of elevator vestibule.

8. Reconstruct wall area around elevator doors.
 - a. Install wood panelling in lunette above doors to approximate original design.
 - b. Install wood panelling between doors. (no stained glass)
 - c. Install new bronze finish doors and frames at first, second, and tenth floors.





Plan of new seating. Not to scale.

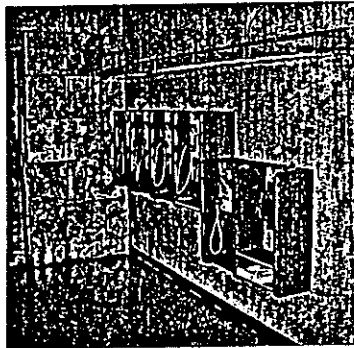
N



Original seating groups. (Garczynski)



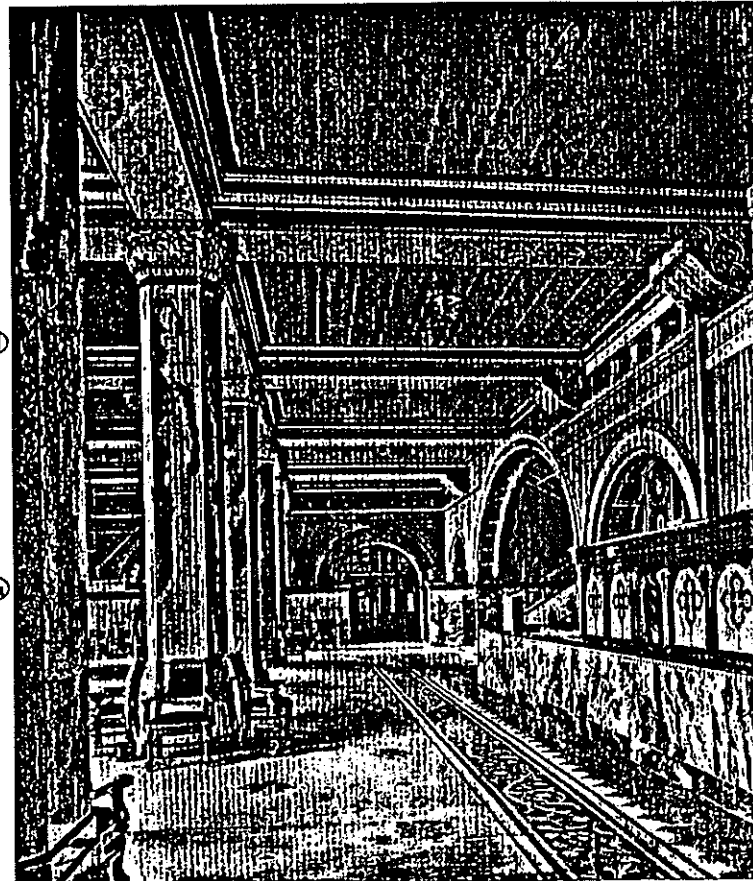
Faux finish onyx wallpaper near front doors.



Interior view behind Grand Staircase.

9d

13a



Original seating groups. (Garczynski)

10b

9. Finishes

- a. Verify original color scheme.
- b. Clean and restore scagliola finish on columns.
- c. Apply gold leaf to capitals.
- d. Replace faux finish onyx wallpaper, at mailboxes and near front entrance, with realistic faux rendition.

10. Flooring

- a. Remove existing permanent carpeting in front of desk.
- b. Clean and repair marble mosaic border pattern.
- c. Infill perimeter with marble mosaics similar to existing.

11. Reintroduce seating groups incorporating furniture similar to the original design.

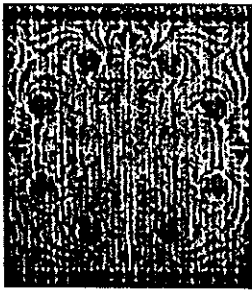
- a. Chairs (32)
- b. Sofas (3)

13. Maintain restored lighting- see "Lighting" section.

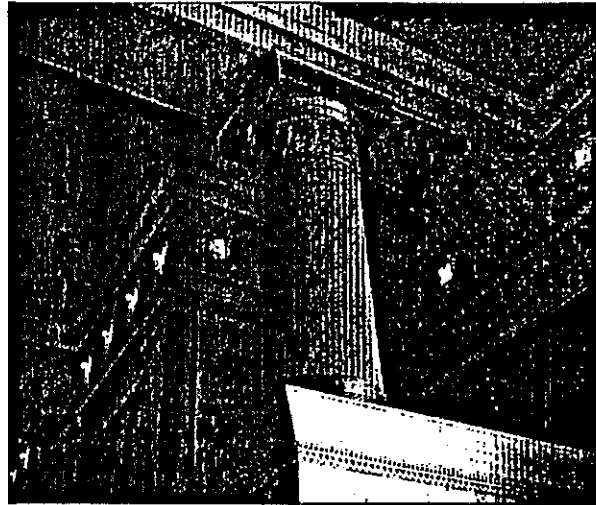
- a. Remove fluorescent lighting at phones behind Grand Staircase. Replace with less obtrusive fixture.

10c

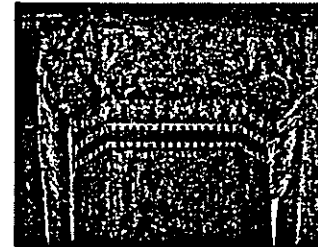




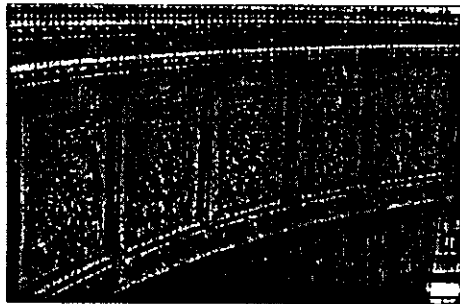
Stencil on beam soffits.



Ceiling and plaster frieze detail.



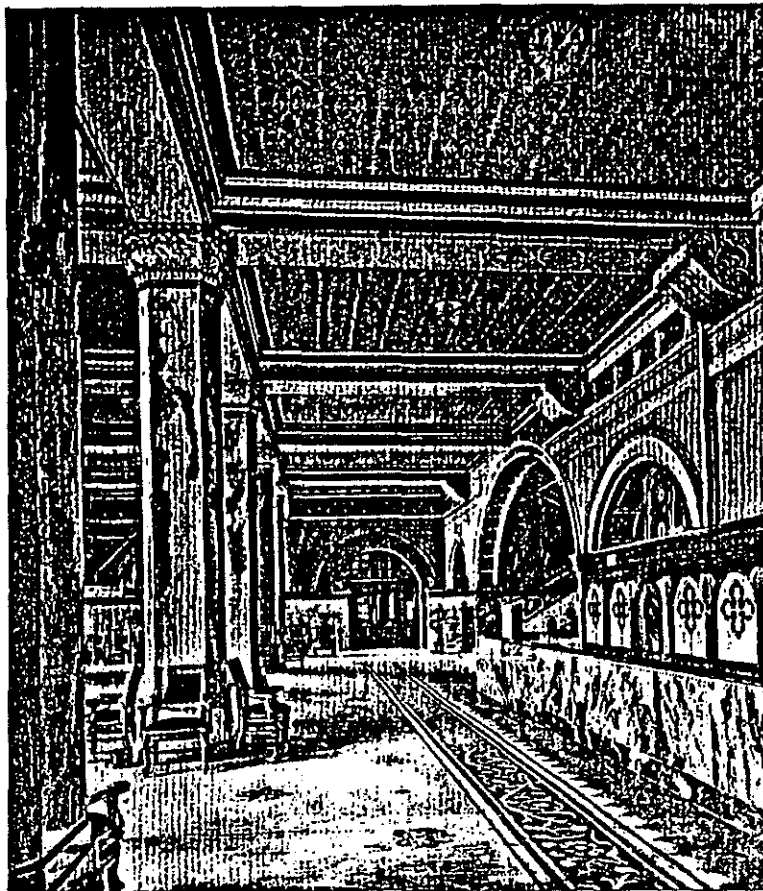
Column capital.



Ornamental plaster under arch above Grand Staircase.



Stencil on coffer interiors.



Original condition of the Michigan Avenue Lobby. (Garczynski)

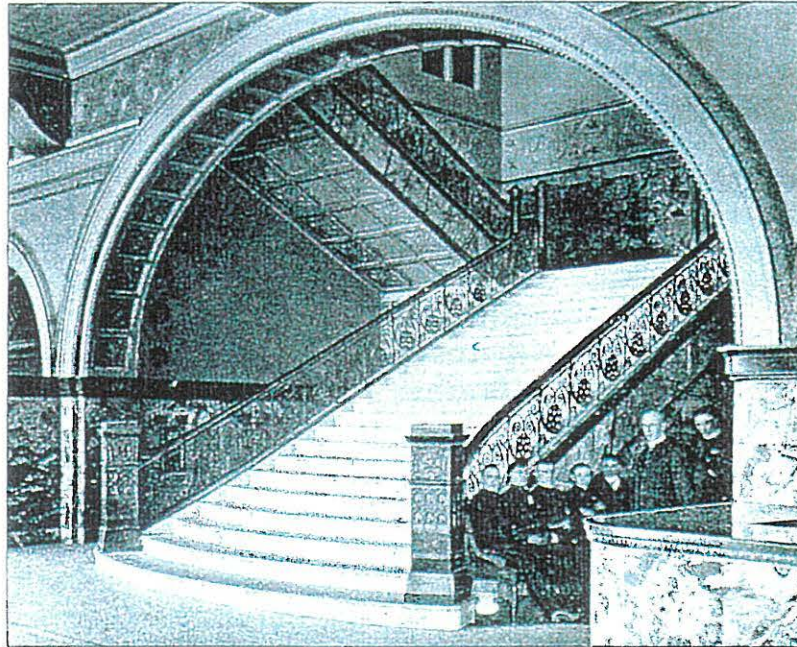
Original Interior Finishes

- Columns: Scagliola finish to imitate Siennese marble
- Column capitals: Gold leaf
- Ceiling
 - Interior of coffers: Stenciled, star design in old ivory
 - Arabesque molding, border of coffers: Faintly gilded
 - Soffits of the beams: Stenciled, star design in old ivory
 - Molding bordering coffers: Faintly gilt
 - Plaster decoration at corbels: Lighter color of the same ivory hue
 - Beading around north & south arches: Gilt
- Painted walls: Mexican pink and white onyx panels (Some faux finish on wallpaper)
- Wood trim, doors and frames: Light quarter-cut oak
- Door hardware: Light-oxidized silver
- Flooring: Marble mosaics- light brown with white and pink designs, black border

This information was obtained from the following book: Edward A. Garczynski, Auditorium (New York, Philadelphia and Chicago: Exhibit Publishing Company, 1890).



Grand Staircase and Michigan Avenue Stairway



Original Condition



Current Condition

Original Use

Present Use:

Access to the student lounge and various classrooms and offices.

Original Use:

Access to the hotel reception room and guest rooms.

The Grand Staircase was the most impressive feature of the hotel. The staircase swept into the lobby under a 33-foot wide elliptical arch. To eliminate the need for columns in this wide span, Adler was required to design a trussed girder to carry the weight above the staircase. The staircase and landings were originally lit by incandescent bulbs arranged in decorative plaster panels and a skylight on the second landing. The Grand Staircase led to the reception room on the second floor. The staircase turned to the north from the Reception Room and continued to the private rooms of the hotel guests on the third floor. A guard was stationed at the foot of the continuing staircase to prevent visitors from exploring the suites above. At the second landing the north side is lit by stained glass windows and the entire ceiling is stained glass skylights.

Today the Grand Staircase leads to the student lounge, numerous offices and classrooms.

The Michigan Avenue Stairway continues from the third floor to the eleventh in a stairwell adjacent to the elevators and above part of the Grand Staircase. This stairway retains the original cast iron stair treads and balustrades. Stained glass windows, now artificially lit, and sconces light the entire stairway.

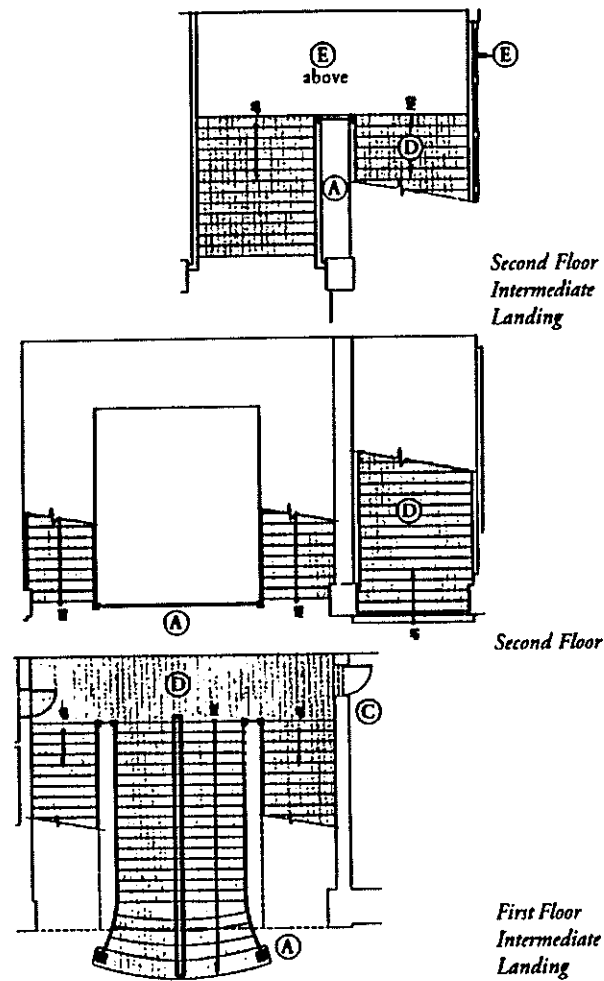
Today this stairway serves as one of the main connections and egress routes, in addition to elevators, at this side of the building.

Alterations to Original

- A. Balustrades, newel posts and plaster ornament covered in layers of paint. Intermediate handrail installed at wide runs for code purposes.
- B. Removed exposed light bulbs in surrounding plaster friezes.
- C. First landing
 - North entrance to the mezzanine level was enlarged by cutting an arch into the plaster frieze.
 - Circular opening cut into adjacent wall.
- D. White-marble stairtreads and the mosaic floor on the first landing were replaced with white terrazzo.

Restoration, 1973- 1975 *Brenner Danforth and Rockwell*

- E. Windows on second landing
 - New windows fabricated by Wenz Art Glass Co. to match original double-hung, leaded-glass windows.
 - Repaired and restored leaded-glass skylights.
- F. All stained glass in Michigan Avenue stairway repaired.

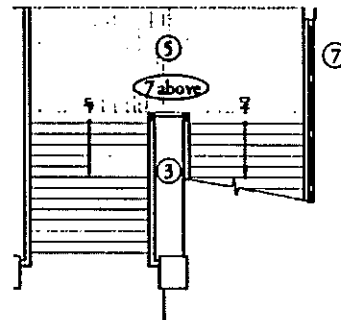


Existing Plan - Staircase and Landings, Michigan Avenue Entrance.

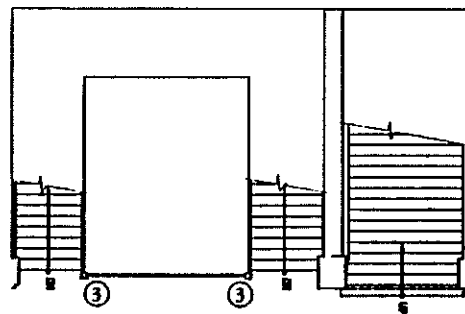


Preliminary Recommendations

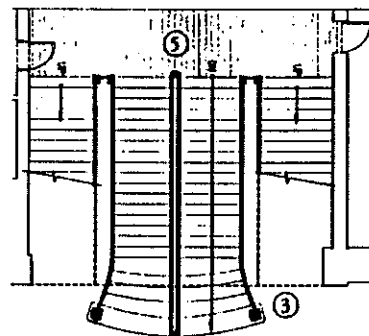
1. Determine original color scheme at Grand Staircase.
2. Clean and repaint plaster ornament at Grand Staircase. Replace where needed.
3. Stairs- all ten floors
 - Strip and clean the iron newel posts and balustrades in situ.
 - Strip paint from and refinish all handrails to original mahogany.
4. Patch and paint entire stairway.
5. Mosaic floor
 - Install mosaic floor on the first landing.
 - Repair mosaic floor on the second landing.
6. New heating and cooling system -see "Mechanical" section.
7. Lighting -see "Lighting" section.
 - Reactivate original lighting located in the frieze at first and second floors.
 - Replace and reinstall historic sconces at second and third floors.
 - Replace fluorescent lighting behind leaded-glass "skylights" at second floor.
 - Install wall sconces to match original and install supplemental lighting in entire stairway.



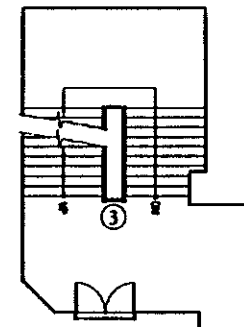
*Second Floor
Intermediate
Landing*



Second Floor

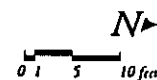


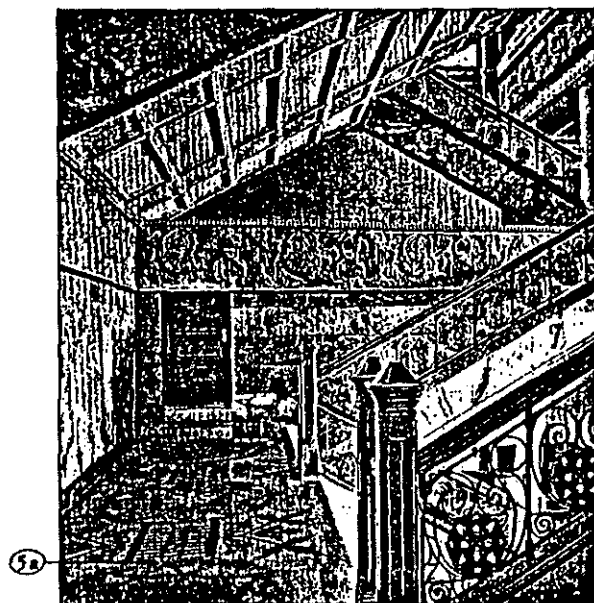
*First Floor
Intermediate
Landing*



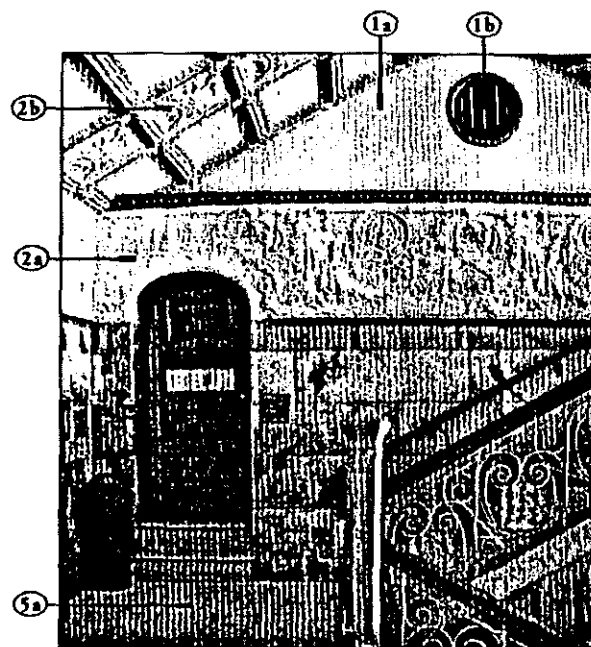
*Michigan Avenue
Stairway
Typical Floor*

Plan, Recommendations - Staircase and Landings, Michigan Avenue Entrance.

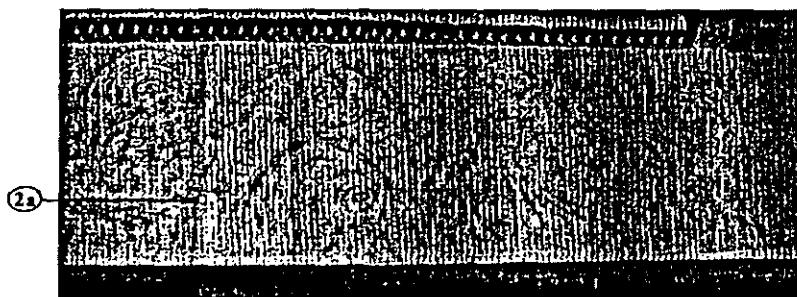




Original condition of first floor landing. (Garczynski)



Current condition of first floor landing.



Current condition of frieze

1. Determine original paint colors at Grand Staircase.
 - a. Repaint flat wall surfaces. 650 sq. ft.
 - b. Remove circular vent. Patch and paint.

Note: Coordinate refinishing of doors at first floor landing with doors of Michigan Ave. Lobby.
2. Clean, repair and repaint plaster ornament at Grand Staircase. Recast as needed.
 - a. 850 sq. ft. frieze
 - b. 800 sq. ft. underside of stairs
5. Mosaic floor
 - a. Remove terazzo and reconstruct historic mosaic tile floor (from photos) on the first landing. 250 sq. ft.
 - b. Repair mosaic floor on the second landing. 5 sq. ft.

Note: Matching unused marble mosaics may exist in storage.



3. Stairs

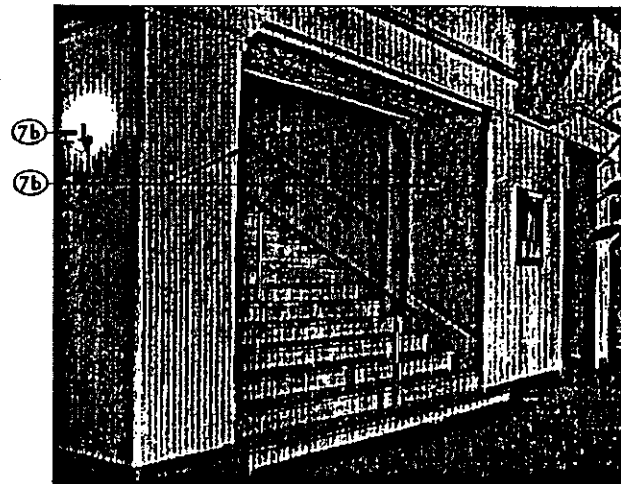
- a. Strip and clean the iron newel posts and balustrades at first three floors. Minor cleaning at all other floors.

1. 12 newel posts
2. 110' x 2'-1"

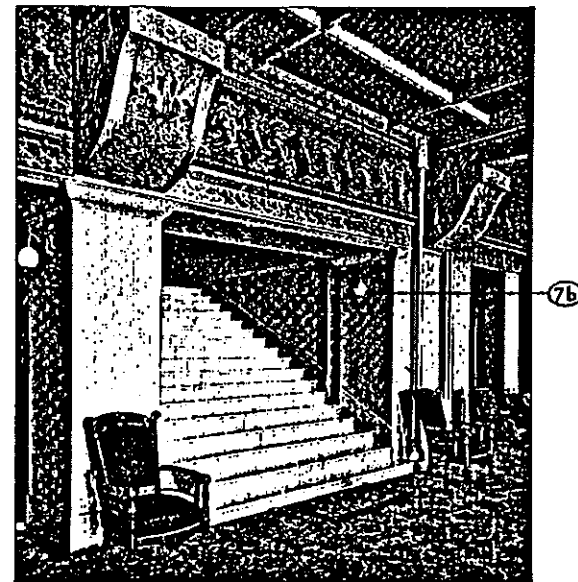
- b. Strip paint from, and refinish to original mahogany, all handrails in Grand Staircase and in Michigan Avenue Stairway. 550 l.ft.

- c. Repair any missing stone at stringers at Grand Staircase.

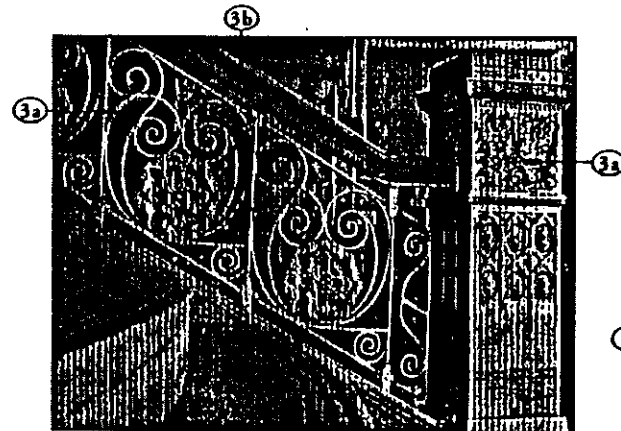
4. Patch plaster and paint entire stairwell a lighter color, to tenth floor. 6,000 sq. ft.



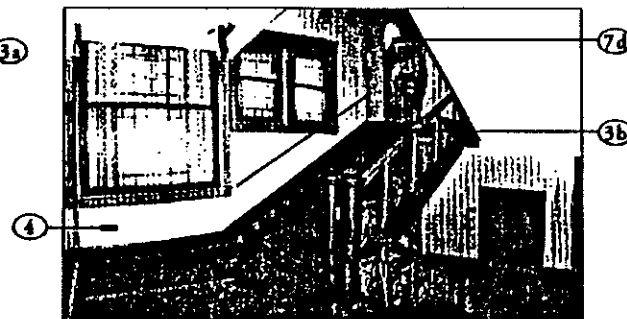
At second floor, stairs leading from Fainman Hall.



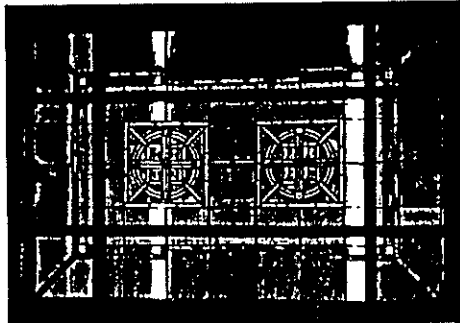
Original condition of stairs leading from Fainman Hall. (Garczynski)



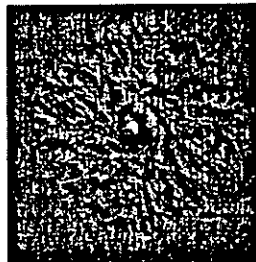
Iron newel post and balustrade of Grand Staircase.



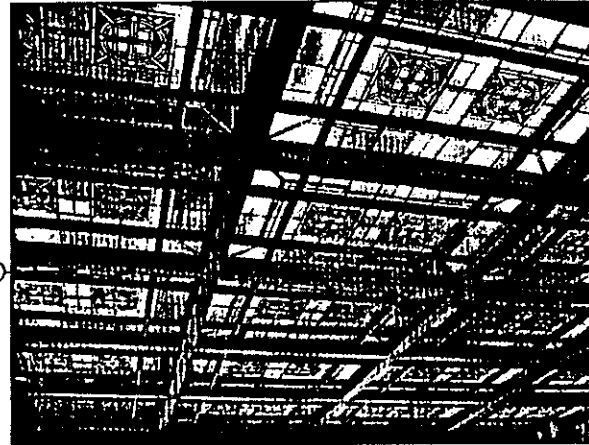
Michigan Avenue Stairway- typical floor.



Detail of stained glass "skylight".



Detail of plaster ornament.



Stained glass in second floor landing.



Second floor landing.

7. Lighting
 - a. Replace lighting in the frieze at first and second landings.
 - b. Replace and reinstall sconces at second and third floor, and under staircase at first floor.
 - c. Replace fluorescent lighting behind stained glass, which currently creates a linear pattern, detracting from the glass, at second floor landing.
 - d. Install wall sconces to match original and add supplemental lighting in entire stairway.

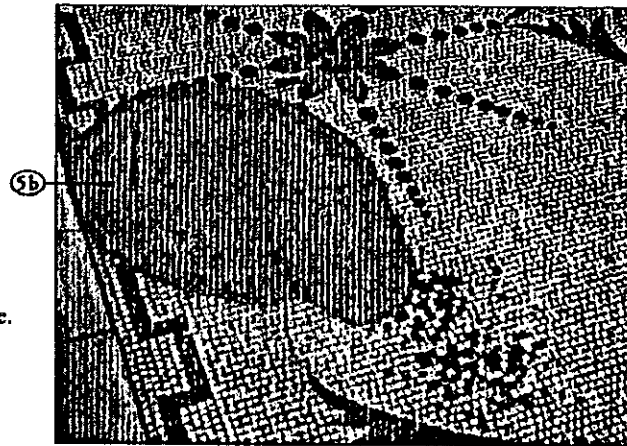


5. Mosaic floor

a. Remove terazzo and
reconstruct historic marble
mosaic tile floor on the first
landing.
250 sq. ft.

b. Repair mosaic floor on the
second landing. 5 sq. ft.

Note: Matching unused marble
mosaics exist in university storage.



Second floor landing.



Detail of plaster ornaments



Original Condition of first floor landing. (Garczynski))

Original Interior Finishes

Grand Staircase:

- Painted walls: Deep green
- Ornamental plaster frieze: Light green w/ two color dry brushed technique
- Underside of stairs: Warm brown plaster on iron
- Balustrades: Gilt iron
- Newel posts: Bronzed iron
- Handrails: Mahogany
- Treads and risers: White veined marble on iron (now terazzo)
- Landings: Marble chip mosaic tile pattern

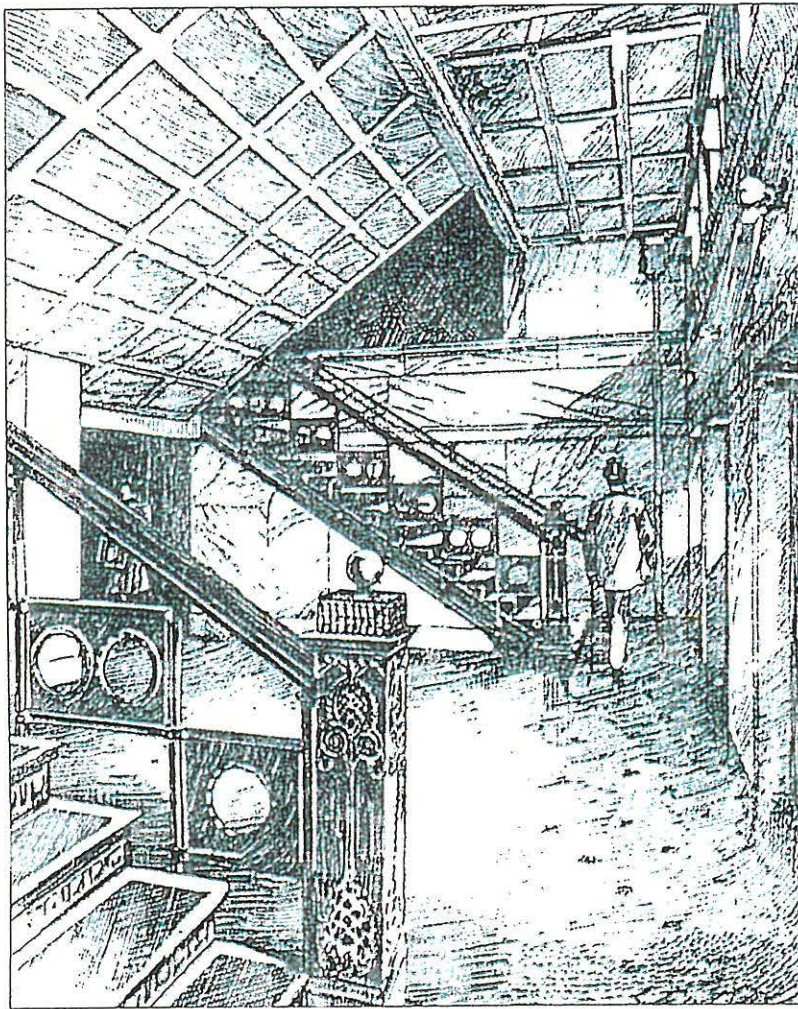
Michigan Avenue Stairway: Beyond Third Floor

- Painted walls: To be determined at time of project implementation
- Balustrades and newel posts: Cast Iron
- Handrails: Mahogany
- Treads and risers: Cast Iron

This information was obtained from the following book: Edward A. Garczynski, Auditorium (New York, Philadelphia and Chicago: Exhibit Publishing Company, 1890).



Wabash Avenue Lobby and Stairway



Original Use

Present Use:

Second main entrance to classrooms and offices.

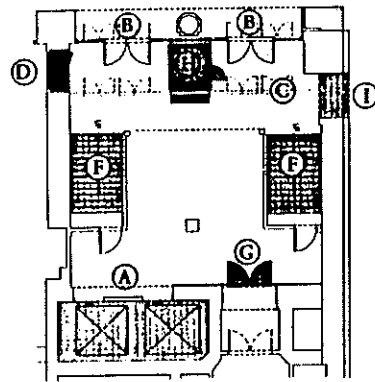
Original Use:

Entrance to the office building.

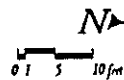
The Wabash Avenue entrance was originally used as the office building entrance. Fan-shaped transom windows set in a bronzed iron frame enclosed the arched entrances. The frames were decorated with a circular die cut. Under each arch were two sets of solid oak doors. The frames of the doors were fabricated of bronzed iron. Beyond the exterior doors was a small vestibule, completely faced in Georgian marble. From the vestibule were four doors that corresponded to the doors on the exterior. Beyond these doors was the office building lobby. The Lobby was floored in mosaic and the walls were faced with the same Georgian marble found in the vestibule. Iron staircases ascended from either side of the lobby and framed the elevators located on the east wall of the lobby. An entrance to the Auditorium Theatre foyer was located to the north of the elevators. Although marble flooring could be found in the lobby and on the first landing, the marble wainscoting stopped at the first floor landing. Decorative clay tile mosaic

floors at each landing and stamped ornamental balustrades did continue for the entire staircase.

Today the Wabash Avenue Lobby is the second main entrance to Roosevelt University. It allows access to classrooms and offices throughout the building, the Herman Crown Center located to the north of the Auditorium Building, and a bookstore to the south of the lobby.



Existing Plan - Wahash Lobby, First Floor



Alterations to Original

1957

- A. New elevators installed and all decorative grilles removed.

1963, 1964

Perkins and Will, Architects

- B. Entrance

- Removed original cast iron framing and mullions.
- Replaced fenestration with aluminum curtain wall.

- C. Doors and vestibule were removed to create a larger lobby. New lighting added.

- D. Door added to southwest corner to connect to bookstore.

- E. Wall covering

- Removed marble wainscoting and marble at underside of stairs. Marble "beams" remain on ceiling near elevators.
- Replaced with drywall and paint.
- Wallpaper added.

- F. Stairs

- Ornamental balustrades replaced with simple iron balustrades sporadically.
- Iron treads and risers still in place.

- Balusters and newel posts painted.
- Mahogany handrails partially stripped.

- G. Dark paneling and concealed door installed at the exit from the Auditorium Theatre, adjacent to elevators. Dark paneling also added to cover unused stairwell starting at first floor intermediate landing.

1960s

- H. Enclosed information desk constructed near door.

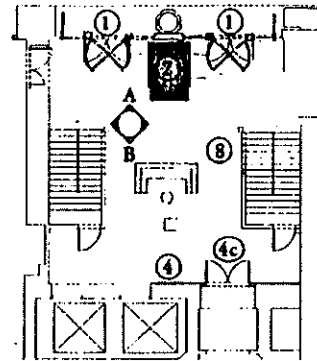
- I. Opening added to north to connect to neighboring building, Herman Crown Center dormitory.

- J. New composition flooring repaced some quarry tile landings in the stairways.

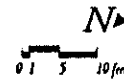


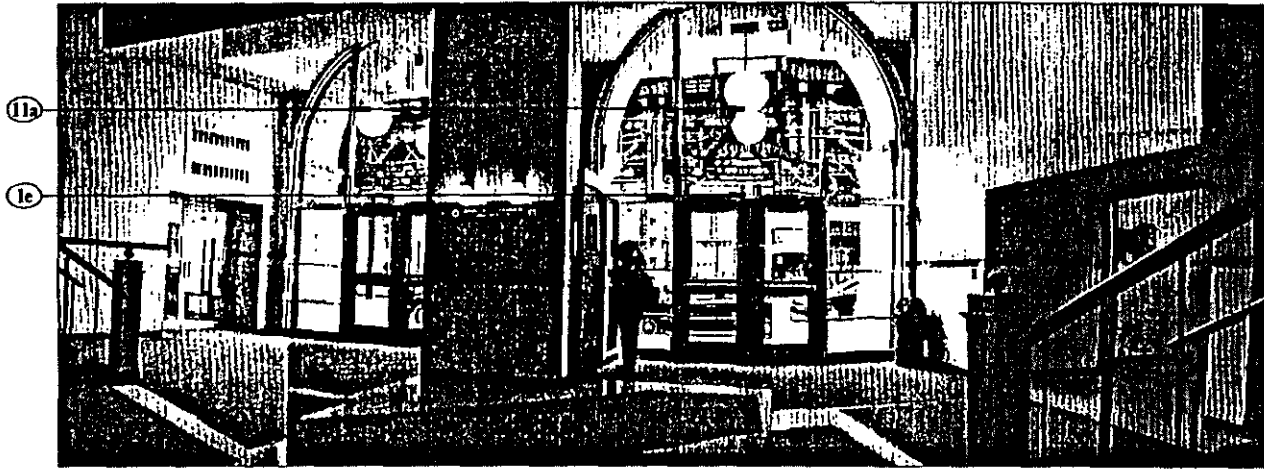
Preliminary Recommendations

1. Reconstruct cast metal storefront for exterior fenestration, door frame, and transom windows, using existing adjacent historic framing as guidelines.
2. Redesign guard station to be less obtrusive.
3. Wall covering
 - Remove wallpaper.
 - Reinstall marble wainscoting to first floor landing.
 - Reinstall marble paneling at underside of stairs leading to second floor.
4. Elevator vestibule
 - Repaint frames and doors of elevator to dull bronze.
 - Remove wood "paneling" to north of elevators and paint walls a sympathetic color.
5. First floor intermediate landing vestibule
 - Install frosted glass, with light box behind, at "windowed" opening.
 - Remove wood "paneling" at unused stair and infill.
6. Determine original color scheme. Patch and paint entire stairwell, up to the 10th floor.
7. Stairs
 - Recast ornamental panels for lobby balustrades from those preserved along the second flight of stairs.
 - Strip balustrades and newel posts, for all ten floors. Recast as needed.
 - Strip paint from and refinish original mahogany handrails.
8. Flooring
 - Install clay tile mosaic floor in lobby.
 - Repair clay tile mosaics at all landings.
9. Remove existing overpainted skylight and install new above tenth floor.
10. New heating and cooling system -see "Mechanical" section.
11. Lighting -see "Lighting" section
 - Replace existing lighting with fixtures sensitive to the original design at both the lobby and at all landings throughout the stairwell, to the 10th floor.



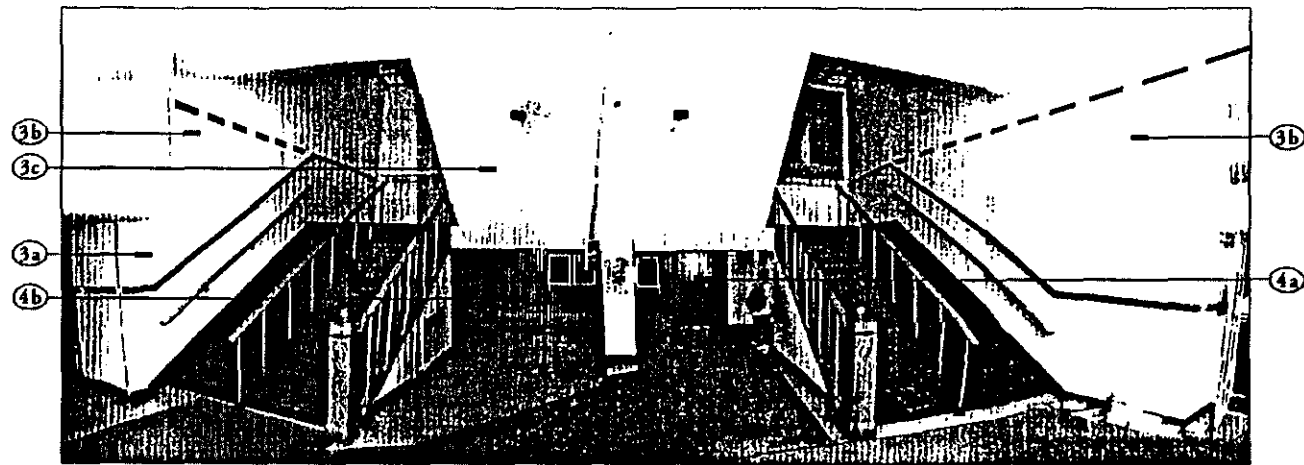
*Plan, Recommendations - Wabash Lobby,
First Floor*



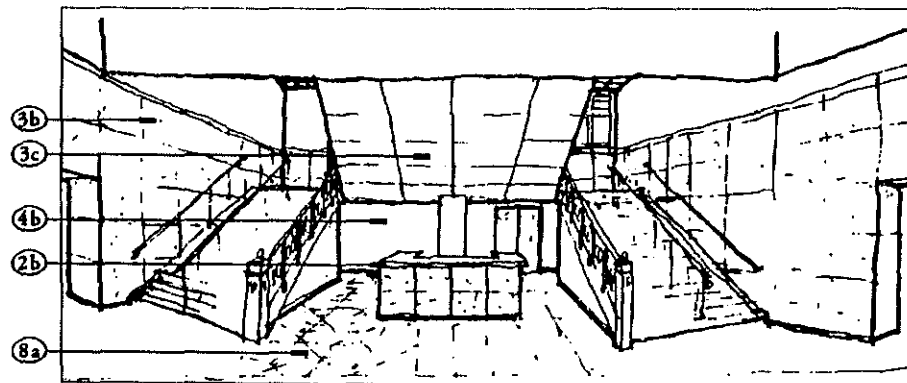


A - View looking West.





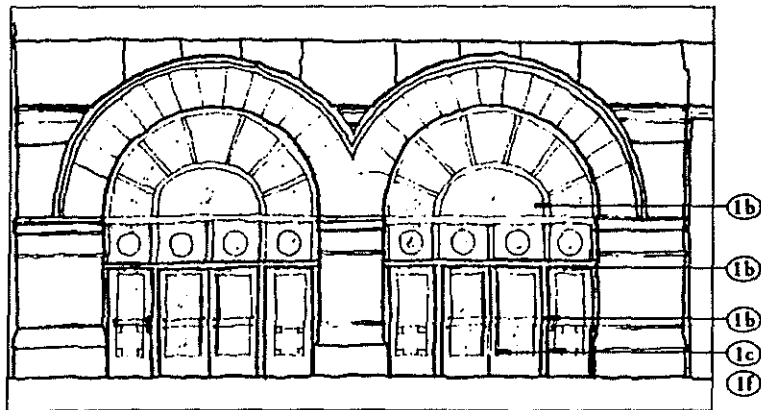
B - View looking East.



Sketch of proposed guard desk and marble wainscoting, looking east.



Current condition of exterior facade.

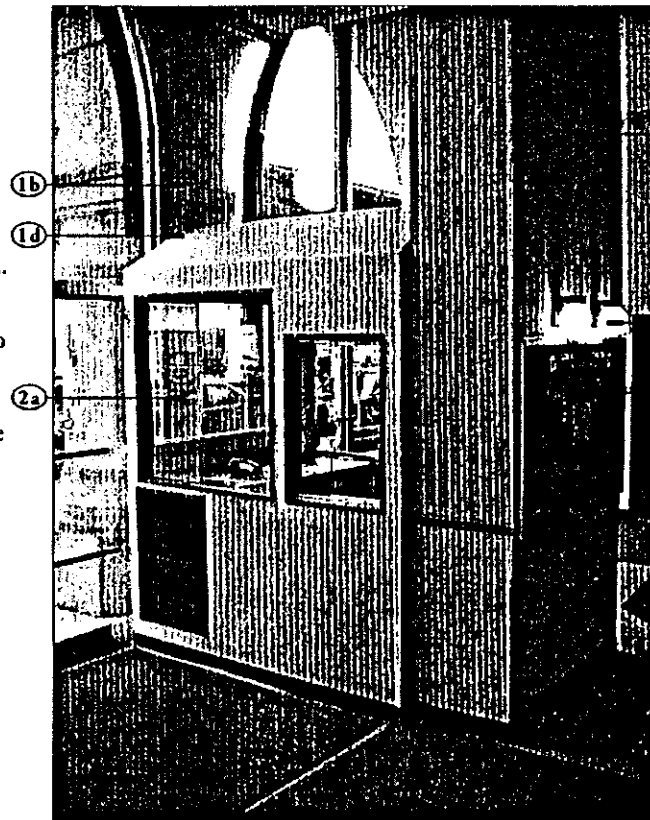


Elevation sketch of proposed exterior facade.

1. Construct and install cast metal storefront for exterior fenestration, door frame, and transom windows, using existing adjacent historic framing as guidelines.
 - a. Remove existing glass and aluminum curtain wall facade.
 - b. Recreate cast framing. Fan-shaped, semi-circular and circular gill insets to be tinted insulated. Panel behind column to be stamped with leaf decoration in Sullivan style.
 - c. Install oak panel doors with tinted insulated glass panels.
 - 2 sets of revolving doors;
 - 2 swing doors. Create shallow soffit above doors to accommodate lighting and exit signs. Face with marble.
 - d. Build out panel behind column at the interior to coordinate with mechanical duct risers.
 - e. Weather seal per current standards.
 - f. Install hammered iron door hardware.
 - g. Install more historic look exit signs.



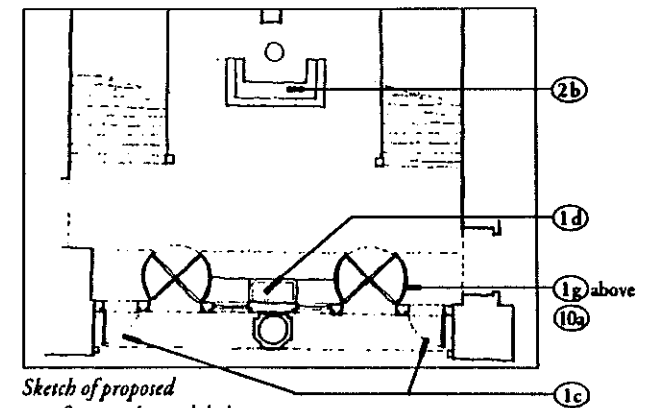
2. Redesign guard station to be less obtrusive and relocate.
 - a. Disassemble existing guard station, retaining control panels, as needed.
 - b. Build new marble paneled freestanding desk with wood shelf. Desktop to accommodate security system.
11. Lighting - Replace existing lighting with fixtures sensitive to the original character.
 - a. At the lobby.
 - b. At all landings throughout the stairwell.
 - c. Create a lightbox behind the "windowed" opening at the first landing.



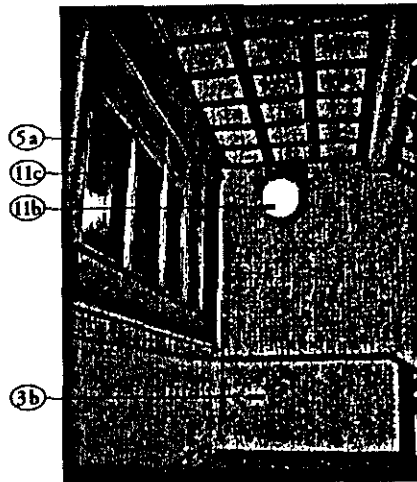
Current Guard station.



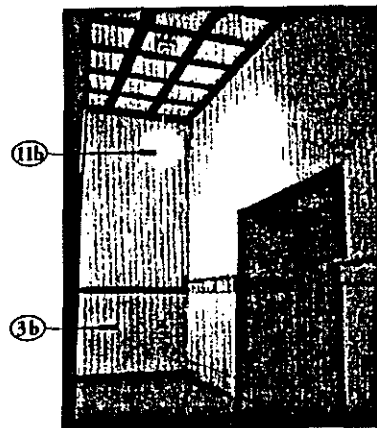
Interior view of entrance doors.



Sketch of proposed storefronts and guard desk.



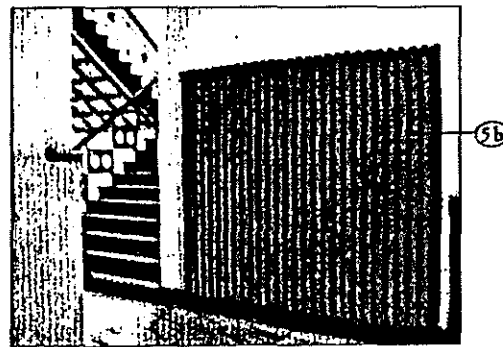
First floor landing looking south.



First floor landing looking northeast.



Entry-level elevator vestibule

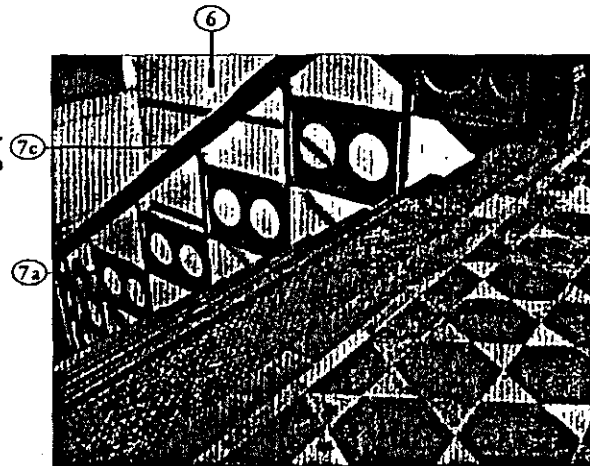


First floor landing looking southwest.

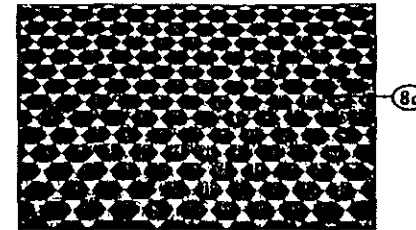
3. Wall covering
 - a. Remove wallpaper. 900 sq. ft.
 - b. Reinstall marble wainscoting to first floor landing. 450 sq. ft.
 - c. Reinstall marble paneling at underside of stairs leading to second floor. 250 sq. ft.
4. Elevator vestibule
 - a. Install new bronze elevator doors and frames at first floor. Repaint doors and frames with bronzed paint at nine floors.
 - b. Remove wood "paneling" to north of elevators. Remove affixed directory and replace with electronic directory at guard desk. Finish drywall and paint sympathetic color. 150 sq. ft.
 - c. Refinish door to Auditorium Theatre.
5. First floor intermediate landing vestibule
 - a. Remove existing black wood panels, install frosted glass, with light box behind, at "windowed" opening. Strip and repaint wood frames. 50 sq. ft.
 - b. Remove wood "paneling" at unused stair. Install gypsum board wall infill. 50 sq. ft.



6. Determine original color scheme. Patch plaster and repaint entire stairwell lighter color. 8,000 sq. ft. Note: ninth floor ceiling colors to be determined and repainted historically accurate.



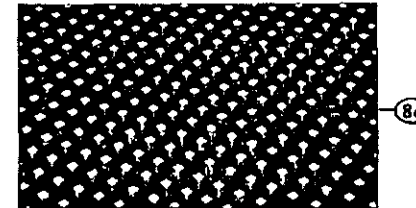
Balustrade on second flight of stairs.



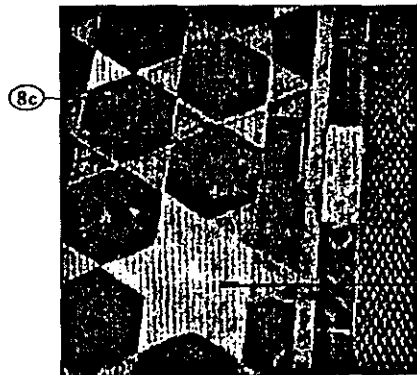
Detail of second floor landing.



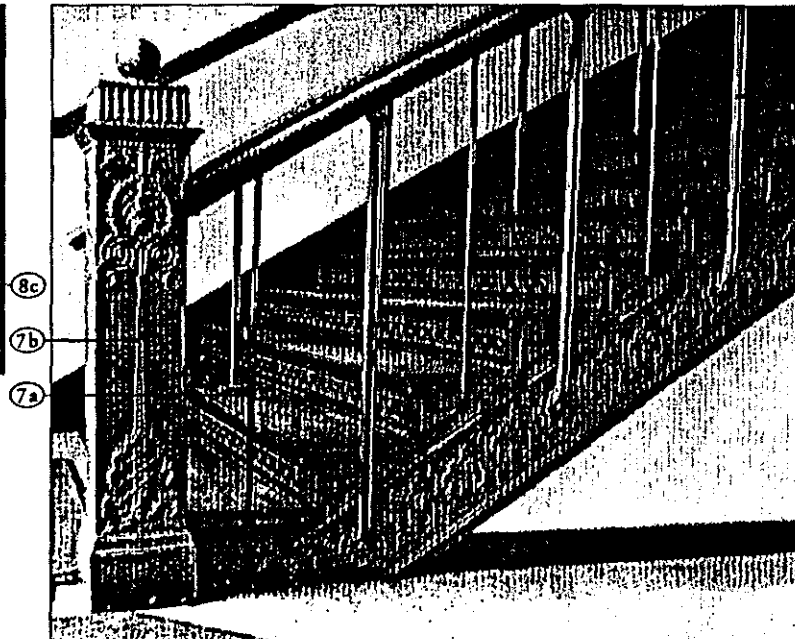
Balustrade on third flight of stairs.



Detail of third floor landing.



Detail of repairs made to mosaic floor on the second floor landing.



Newel post and balustrade.

7. Stairs

- a. Recast ornamental panels for lobby balustrades from those preserved along the second flight of stairs. Install. 14- 19"x15" panels.
- b. Strip and clean balustrades and newel posts, for all ten floors in situ. Recast as needed. 39 newel posts.
64- 18"x 33" panels
21- 18"x 21" panels
2- 18"x 28" panels
12- 19"x15" panels
- c. Strip paint from and refinish to original mahogany on handrails. 350 l.f.

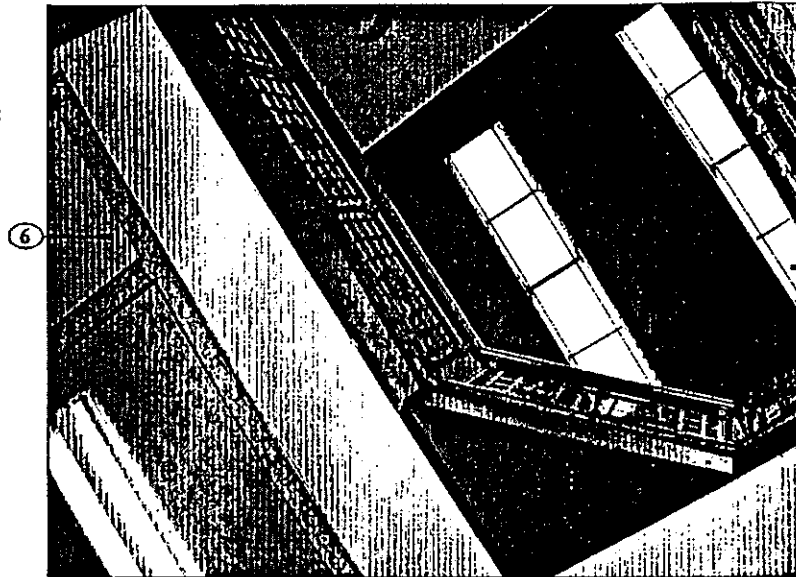


8. Flooring

- a. Remove existing (asbestos?) composition floor tile and install encaustic clay tile mosaic floor in lobby. 950 sq. ft.
- b. Remove existing (asbestos?) composition floor tile and install clay tile mosaic floor on 7th, 8th and 10th lobbies. 750 sq. ft.
- c. Clean and repair clay tile mosaics at all landings. 1,100 sq.ft total; 100 sq. ft. repairs.

9. Skylight

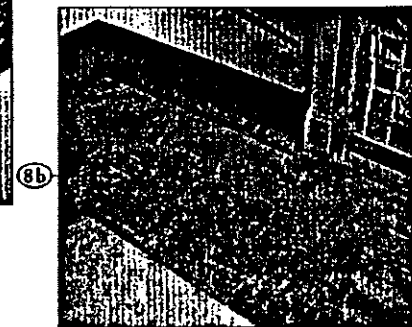
- a. Remove existing black painted skylight and fluorescent light fixtures.
- b. Install new skylight. Flash and seal to current standards.
- c. Install supplemental lighting.



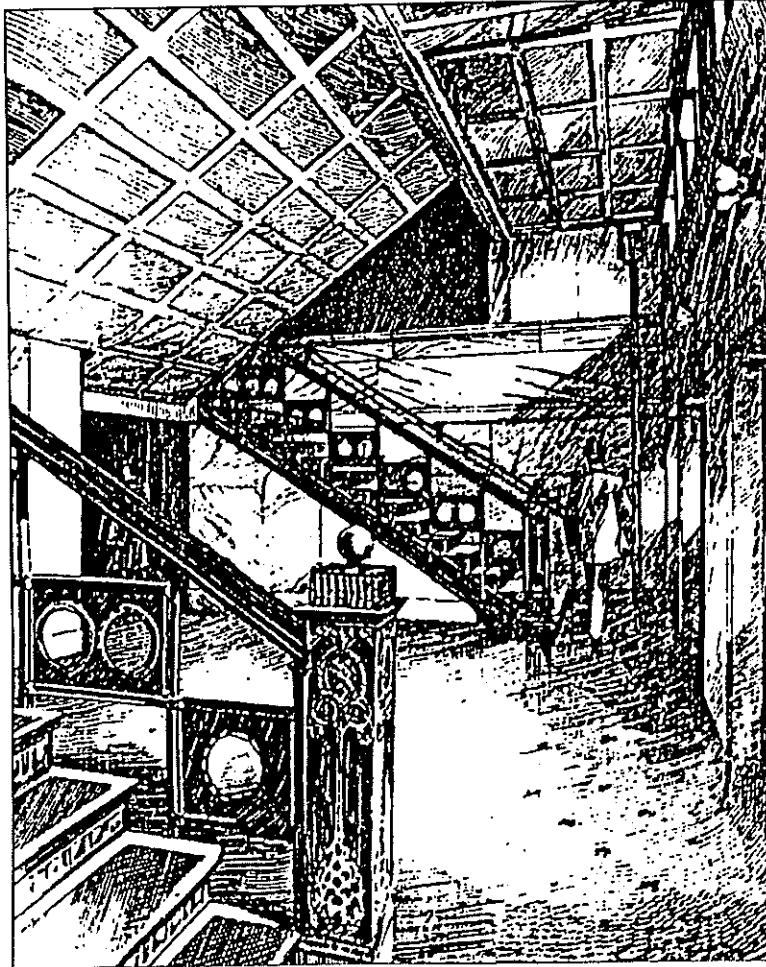
Current condition of ninth floor ceiling and tenth floor skylight beyond.



Floor detail at eighth floor.



Floor detail at tenth floor.

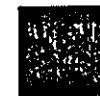


Original condition of the Wabash Lobby, (Garczynski)

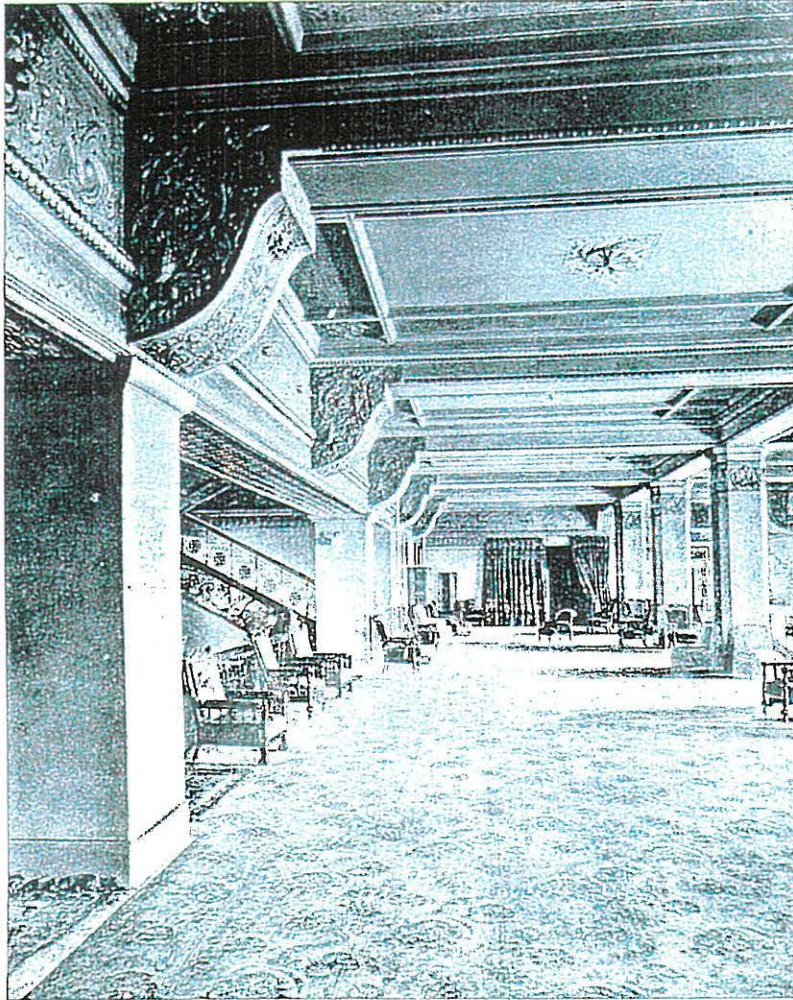
Original Interior Finishes

- | | |
|--|---|
| • Wainscoting at first floor: | Marble to match "beam" at elevator ceiling. |
| • Underside of stairs to second floor: | Marble paneling as shown in illustration. |
| • Painted walls: | Undetermined |
| • Flooring: | Encaustic clay mosaic tile. |
| • Treads and risers: | Cast iron. |
| • Newel posts and balustrades: | Cast iron. |
| • Handrails: | Mahogany. |
| • Wood doors: | Oak. |
| • Hardware: | Hammered iron. |

This information was obtained from the following book: Edward A. Garczynski, Auditorium (New York, Philadelphia and Chicago: Exhibit Publishing Company, 1890).



Fainman Memorial Hall



Original Condition



Current Condition

Original Use

Present Use:
Student Lounge

Original Use:
Hotel Reception Room

Location:
Second Floor

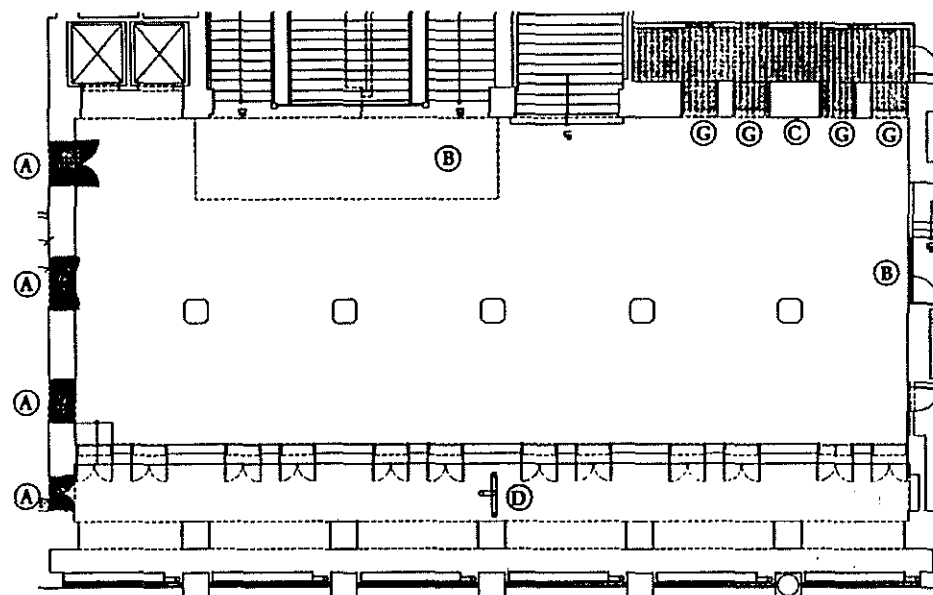
Located on the second floor, this room was originally used as the Reception Room for the Auditorium Hotel. Visitors and hotel guests could reach this room from the Grand Staircase, which entered on the west side of the room. This room was the same length as the loggia seen on the Michigan Avenue façade. The room's impact upon the guest was notable as the vista of Lake Michigan from the loggia was quite dramatic. Originally the loggia was open to the Chicago weather but early in the building's history it was enclosed by wooden sash windows and transoms between the columns to make the area usable year round.

The room was richly furnished with comfortable chairs and Turkish rugs. It was reported in a newspaper in 1890 that the Reception Room had an "atmosphere of home." A marble and oak fireplace was located at the northwest end of this room. The fireplace was flanked on either side by two stained glass, double-hung windows. Also located at the northwest end was a lavish claret and

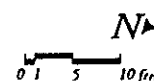
white portiere decorated with white silk cord and silken tassels. One end of the portiere was swept back from to reveal the entrance to hotel rooms located in the northeast corner of the building. Located at the southeast end of the reception room were two oak framed openings which led to the ladies' parlor.

Today the room serves primarily as a student lounge as well as an entrance to various university administration offices at the north end.

Alterations to Original



Existing Plan - Fainman Memorial Hall, Second Floor



A Doors installed to separate the lounge from the ladies' parlor.

B Firewall constructed to enclose north stairway. Firewall also constructed around main staircase (removed in 1980s).

C Original marble fireplace removed.

Partial Restoration, 1958-1962

Crombie Taylor, Architect

D Loggia:

- Aluminum windows added.
- Original doors removed.
- Acoustic tile ceiling added.
- Fluorescent lights added.
- Payphones added (later).
- Handicap ramp added (later).

E Pendant light fixtures hung from original sockets in plaster relief.

F Decorative changes:

- Plaster painted white.
- Moldings and column capitals painted gold to simulate gold leaf.
- Stenciled vinyl applied to ceiling and beams.

1973

G Leaded glass windows on west wall removed to create access to offices in new light-and-air court.

1970s, 1980s

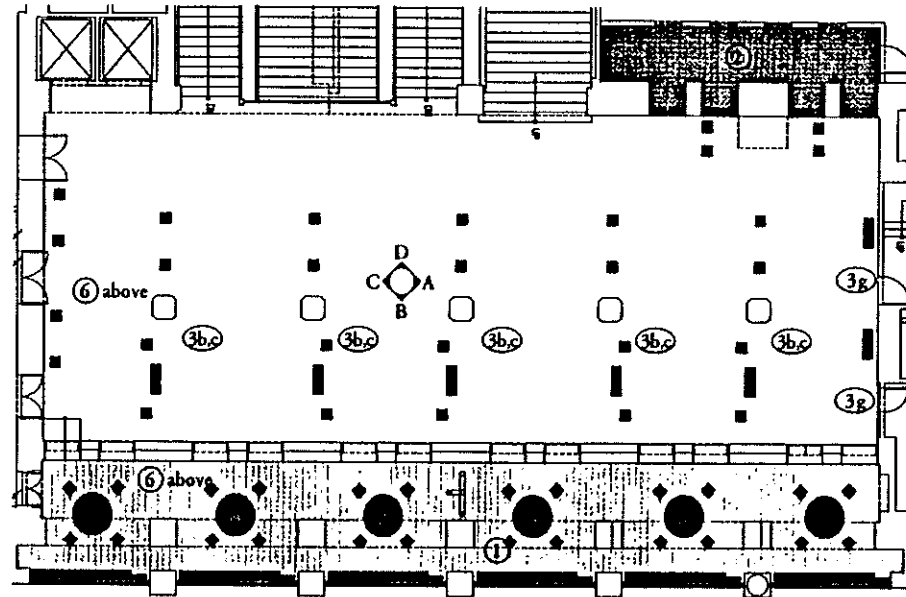
H Original carpeting replaced.

I Original furnishings replaced.

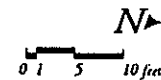


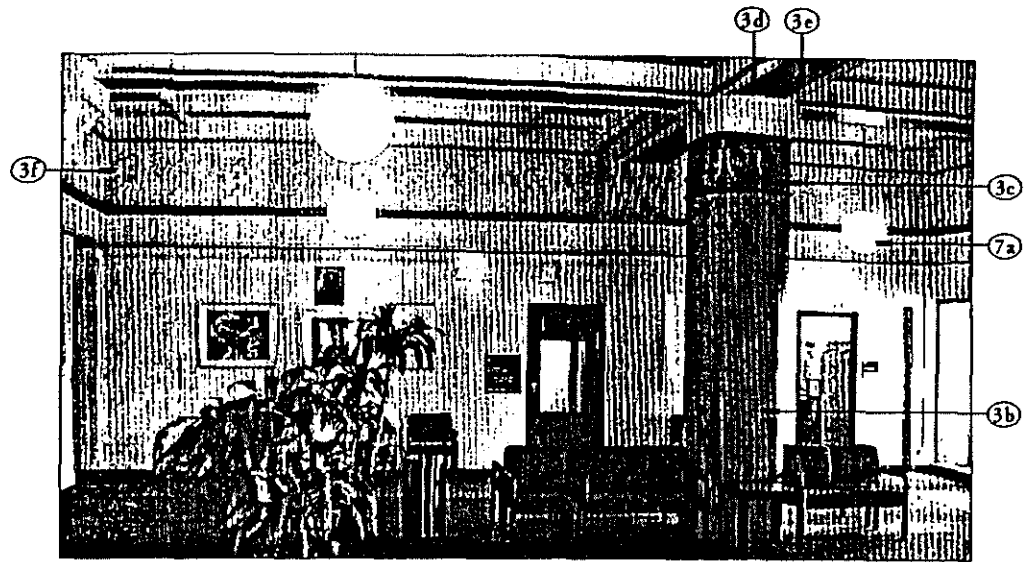
Preliminary Recommendations

1. Reconstruct porch enclosure.
2. Install two stained glass windows and reconstruct entrance to the northwest offices to make the dropped ceiling less obtrusive.
3. Decorative features:
 - Determine original color scheme.
 - Repair and clean scagliola on columns.
 - Apply gold leaf to the capitals.
 - Coordinate with and repair locations of new mechanical grills.
 - Repair damaged stencils.
 - Repair damaged plaster.
 - Install wood doors and wood frames at north wall to match south wall.
4. Replace existing carpeting with a carpet more closely resembling the original design.
5. Replace existing furniture with new that is sensitive to the original.
-  6. Install new heating and cooling systems-see "Mechanical" section.
7. Lighting - see "Lighting" section.
 - Remove hanging globe lamps.
 - Remove fluorescent lighting in loggia.
 - Reactivate lights projecting from plaster settings.
 - Install auxiliary lighting where needed.



Plan, Recommendations - Fainman Memorial Hall, Second Floor





A - View looking North

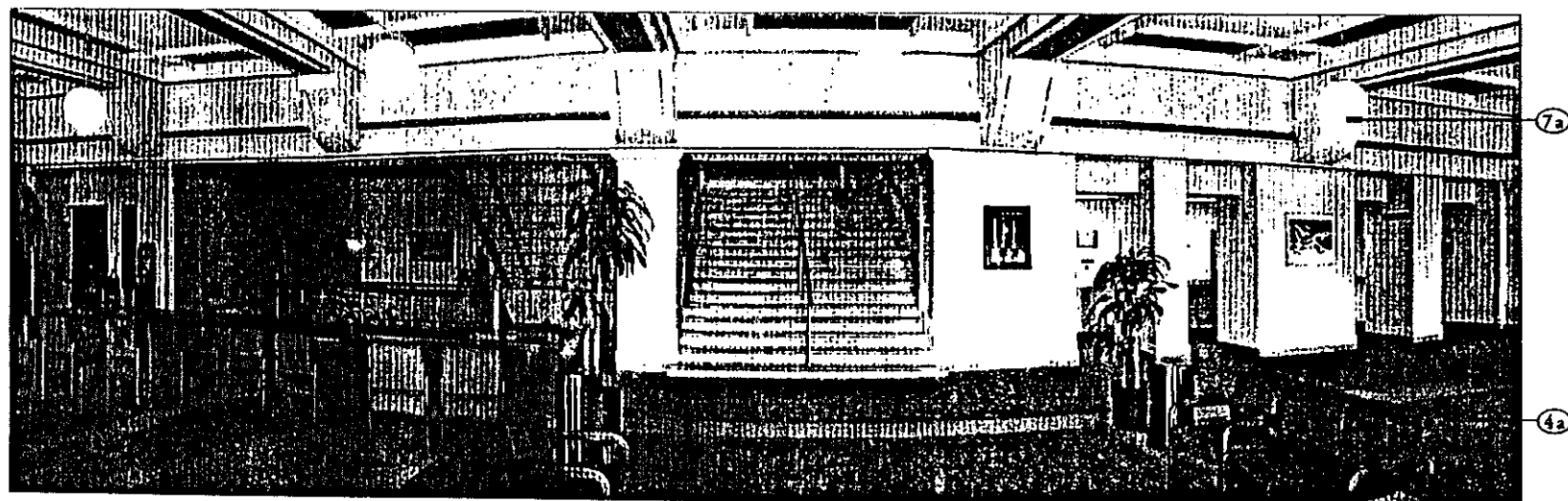


B - View looking East





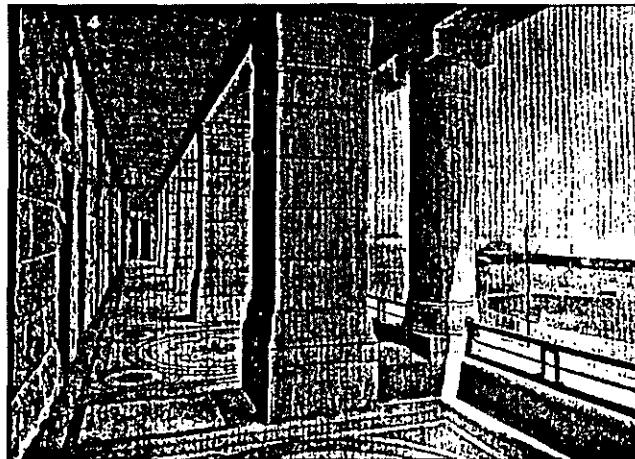
C - View looking South



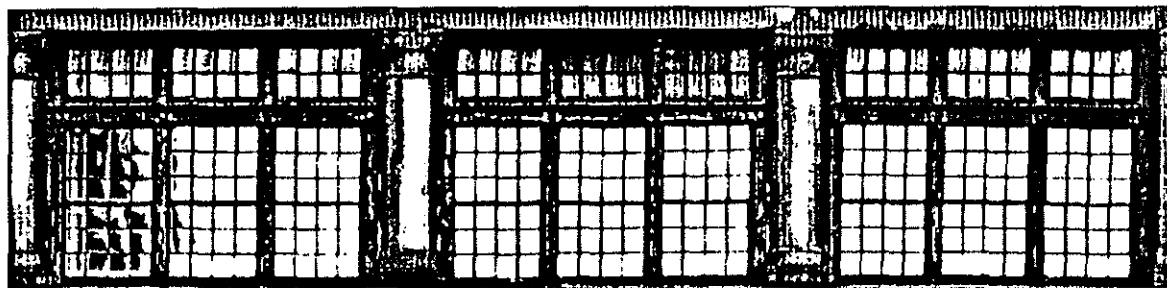
D - View looking West



Current condition of loggia.



Original condition of loggia. (Garczynski)

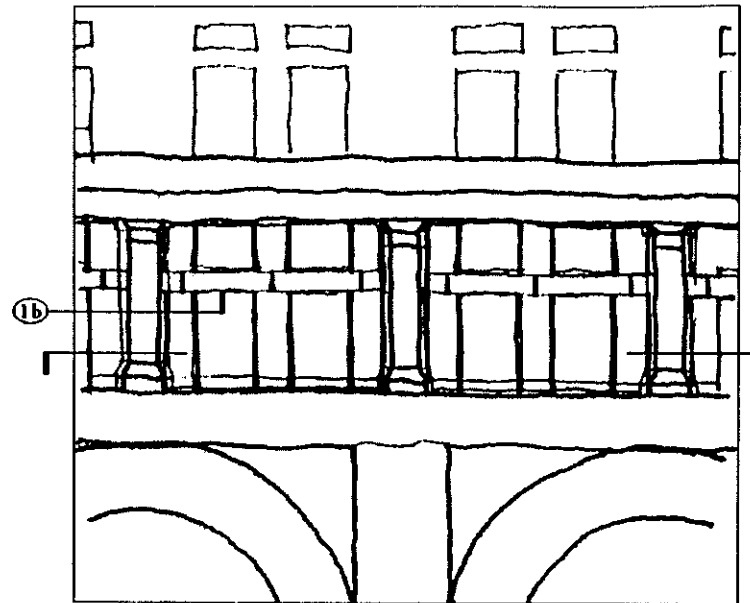


Detail, first porch enclosure.

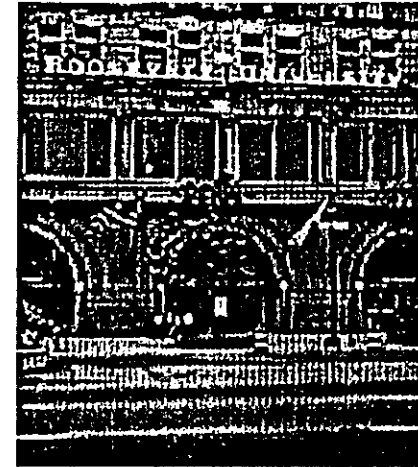
1. Reconstruct porch enclosure. Originally open to the elements, the loggia was enclosed by wooden-sash windows and transoms between the columns shortly after the Auditorium Building was constructed, to make the room usable throughout the year. The double-hung windows were then replaced by aluminum windows, in 1962. Both designs are incompatible with the facade design.

- a. Remove existing curtainwall.
- b. Install fixed cast metal storefront which circumvents the round columns
- c. Glass to be low-e low percentage transmittal.
- d. Weather seal per current standards.
- e. Remove existing acoustic tile ceiling and lighting. Install new lowered ceiling to coordinate with new mechanical. 580 sq. ft.

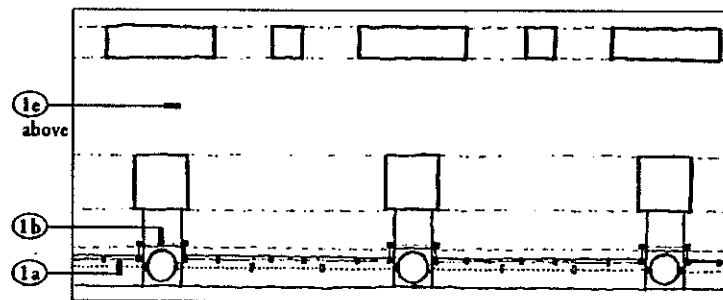




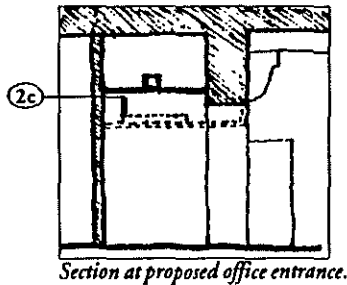
Sketch of proposed exterior elevation at loggia / porch enclosure.



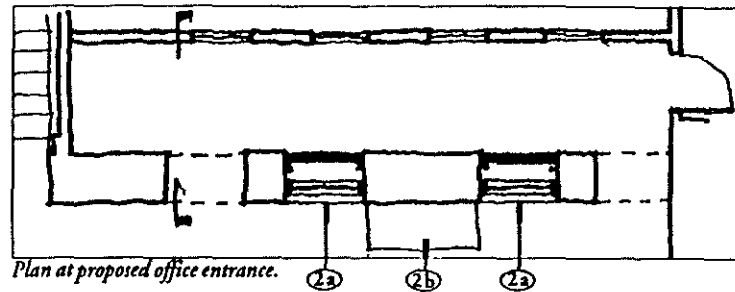
Current condition of exterior loggia.



Sketch of proposed plan at loggia / porch enclosure.



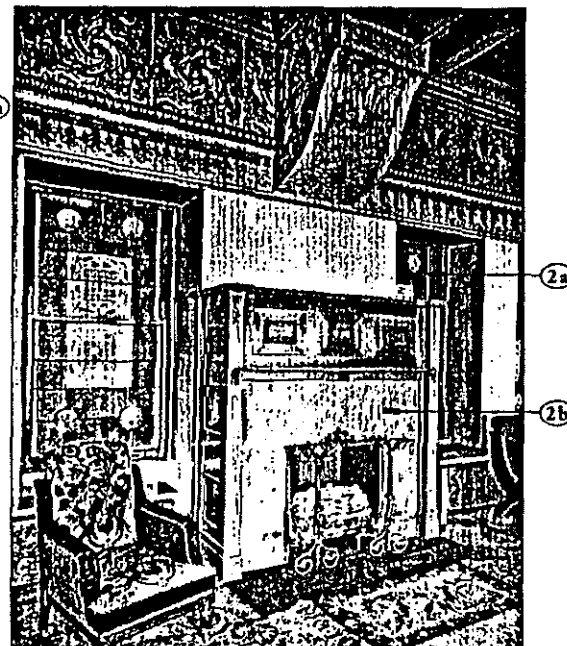
Section at proposed office entrance.



Plan at proposed office entrance.



Current condition of northwest wall.



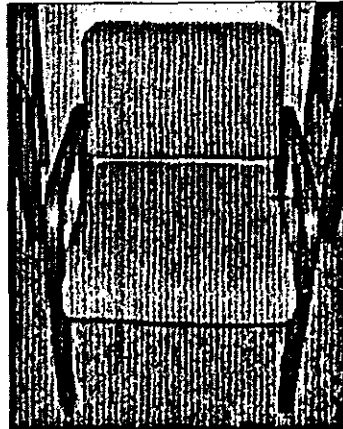
Original condition of northwest wall. (Garczynski)

2. Reconstruct entrance to northwest offices
 - a. Restore and install two stained glass windows in new framing.
 - b. Reconstruct fireplace, using photo and other existing fireplaces (Sullivan and Faculty Lounge rooms). Brownish-purple marble with oak panelled mantel and surround.
 - c. Remove existing drop ceiling and install new raised drywall ceiling and lighting at raised height. 140 sq. ft.



5. Replace existing furniture with new that is sensitive to the original.

- a. 28 lounge chairs
- b. 7 sofas
- c. 24 stacking chairs (loggia)
- d. 6 tables (loggia)



Current furniture.

5a



Original furniture. (Garczynski)

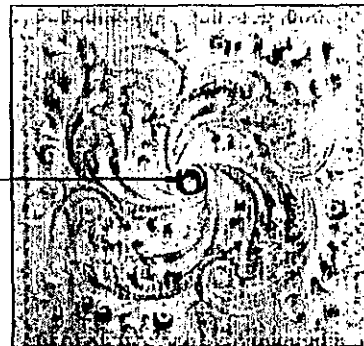


Original furniture. (Garczynski)

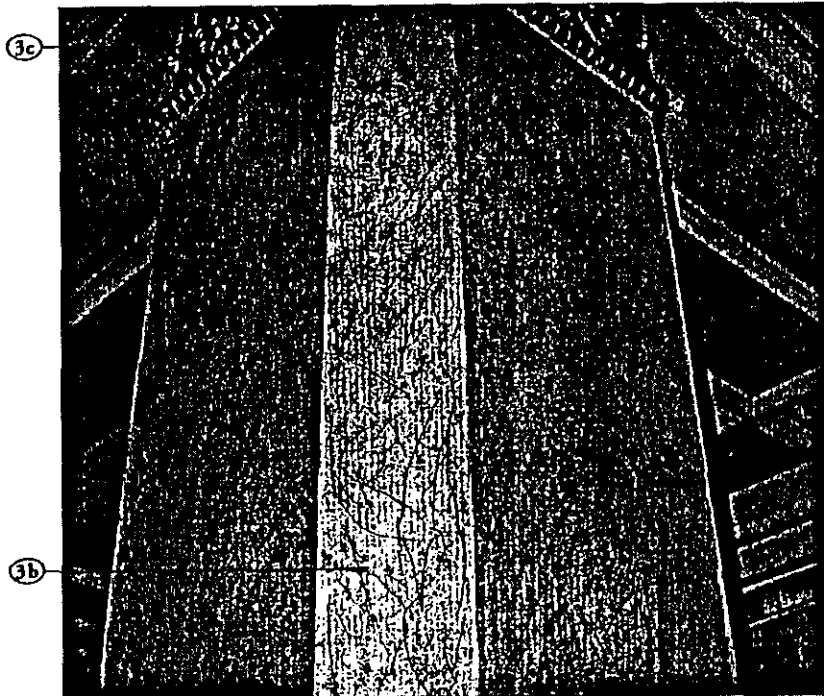
7. Lighting - see "Lighting" section.

- a. Remove hanging globe lamps and replace with more historically accurate fixtures.
- b. Remove fluorescent surface mounted lighting in loggia. Install new lighting in lowered drywall ceiling.
- c. Reactivate lights projecting from plaster settings in frieze.
- d. Install auxiliary lighting where needed.
- e. Install new lighting near northwest offices.

7c



Plaster ornament.



Detail at southernmost scagliola column



Plaster damage detail



Plaster damage detail

3. Decorative features

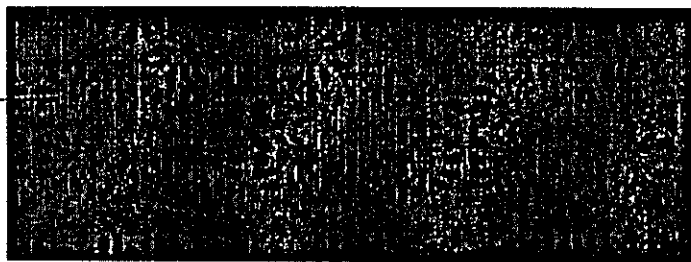
- a. Determine original color scheme and repaint.
- b. Repair and clean scagliola (5) columns. Southernmost column in need of new scagliola finish. Coordinate timing with new electrical and telecom wiring as needed.
- c. Apply gold leaf to the column capitals and moldings.
- d. Repair damaged plaster and stencils at locations of new mechanical grills, likely to be at north-south beam locations, and new electrical and telecom wiring.
- e. Repair minor damaged stencil and plaster work.
- f. At plaster frieze, strip existing layers of paint, and hand tool plaster. If required, cast new panels.
- g. Remove existing doors at north wall office entries. Install historic profile doors to match those at south wall.

4. Flooring

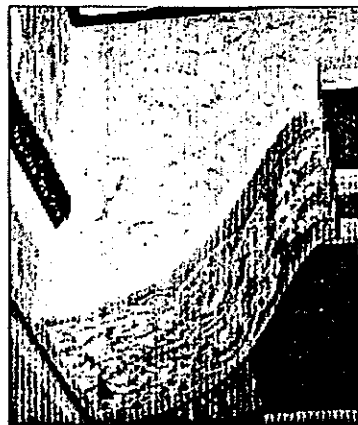
- a. Replace existing carpeting with new that more closely resembles the original design.
- b. Repair mosaic tile at loggia as needed.



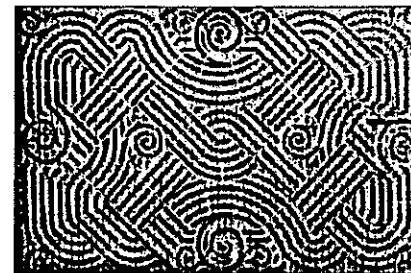
3c



Stencil Pattern in side panel of coffers.



Ornamental plaster corbel.

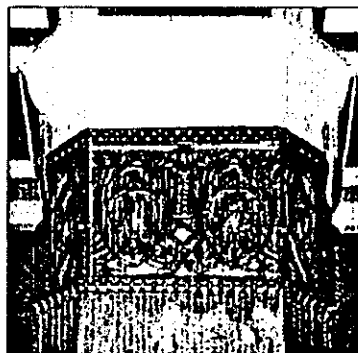


3c

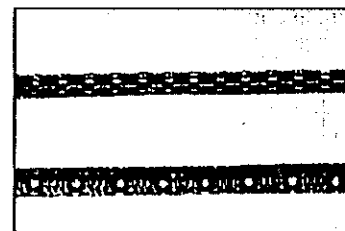
Stencil pattern under beams.



Corner panel of coffers.



Column capital.



Molding.



Original condition of Fainman Memorial Hall. (Garczynski)

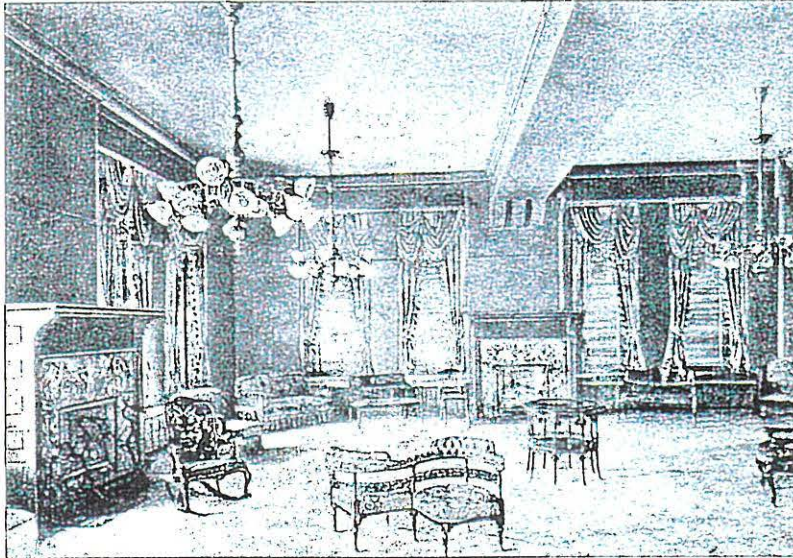
Original Interior Finishes

- Columns: Scagliola finish to imitate Siennese marble.
- Column capitals: Gold leaf
- Double abacus: Gilt iron
- Ceiling -
 - Underside of side of beams: Various shades of delicate green.
 - Beam molding: Gold stencil on light green ground.
 - Central panel of coffers: Heavily gilt reel and bead molding.
 - Corner panels of coffers: Lightly tinted green, seems white.
 - Side panels of coffers: Molded plaster tinted light green.
- Ornamental plaster corbels: Stenciled pattern on gold ground.
- Ornamental plaster cornice frieze: Light green molded plaster with 2 color dry-brush technique
- Painted walls: Molded plaster relief with molding above and below with 2 color dry-brush technique. Leaf design of the base molding was gold leafed.
- Wall decoration: Green, to be determined.
- Flooring: Large mirrors with oxidized silver frames.
- Flooring: Richly decorated carpet by W & J Sloan;
- Flooring: Tile mosaic flooring in open loggia.

This information was obtained from the following book: Edward A. Garczynski, *Auditorium* (New York, Philadelphia and Chicago: Exhibit Publishing Company, 1890).



Sullivan Room



Original Condition



Current Condition

Original Use

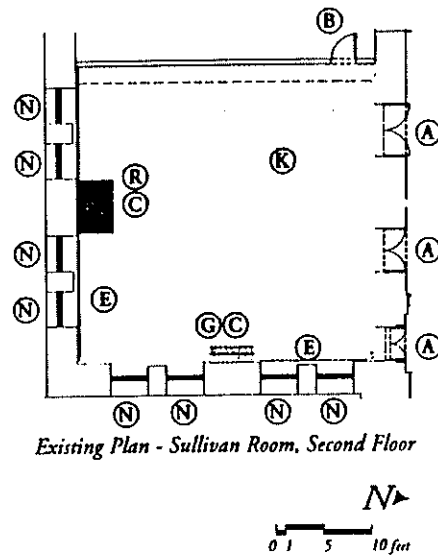
Present Use:
Seminars, Banquets, Reception

Original Use:
Ladies' Parlor

Location:
Second Floor

Originally the Ladies' Parlor, this room was reached from the Reception Room by two openings at the southeast end of the Reception Room. Blue and silver-gray damask curtains and lambrequins (short pieces of drapery located at the top of a window or doorway) adorned the windows. Venetian blinds also hung from the windows and helped protect the furniture from harmful rays of the sun. A mosaic and carved oak fireplace was located between the windows on the south and east walls of the room. The room was heated in the winter by steam radiators located in the recesses of each window. The room was lit by four pendant electroliers made of dull brass and hung from the ceiling. Similar to the adjacent Reception Room, the Ladies' Parlor was richly furnished and contained an Aubusson carpet and grand piano.

Dedicated as the Sullivan Room in 1959, the room is currently reserved for University seminars, banquets, and receptions.



Alterations to Original

- A. Doors were added between the Sullivan Room and Fainman Lounge.
 - B. Entire west wall had been removed. When rebuilt, a single door replaced the original double door entrance.
 - C. Original mosaic fireplaces removed.
 - D. Original furnishings sold, draperies removed, stencils covered in layers of paint.
 - E. Perimeter radiator system added on east and south walls.
 - K. Installed oak parquet floor and area rugs instead of reproducing original carpet.
 - L. Furnished room with pieces from the old McCormick mansion.
- Renovation, 1999**
- M. Stencil pattern reapplied
 - Gold paint on blue
 - White border on blue
 -  N. Ultraviolet reflective film installed on windows.
 - O. White oak parquet floor sealed.
 - P. Oriental rug cleaned

Renovation, 1999

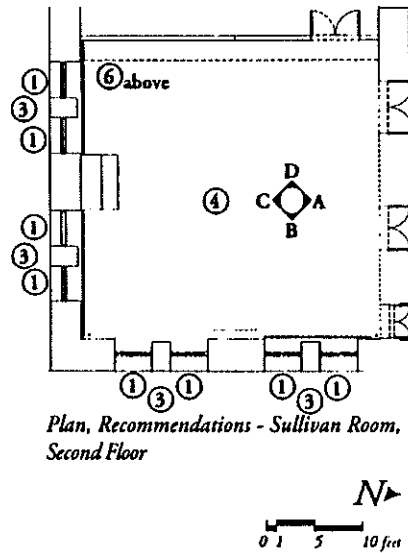
- door entrance.
- C. Original mosaic fireplaces removed.
- D. Original furnishings sold, draperies removed, stencils covered in layers of paint.
- E. Perimeter radiator system added on east and south walls.
- Partial Restoration, 1958**
Crombie Taylor, Architect
- F. Recovered original wall stencil patterns and reproduced them. Repainted room blue.
- G. Transferred decorative fireplace to the east wall from one of the suites.
- H. Hung antique pendant light fixtures, which closely resemble the originals.
- I. Stripped and refinished woodwork.
- J. Reproduced original draperies.
- M. Stencil pattern reapplied.
- Gold paint on blue
 - White border on blue
- K. Ultraviolet reflective film installed on windows.
- O. White oak parquet floor sealed.
- P. Oriental rug cleaned and repaired.
- Q. New curtains installed.
- R. Recovered one of the original fireplace mantels.
- Installed on the south wall.
- S. Donations received from the Chicago Woman's Club
- Settee, two arm chairs, carved oak lectern, bookcase, side table
 - Two additional oriental rugs
 - Eight oil paintings, twelve engravings

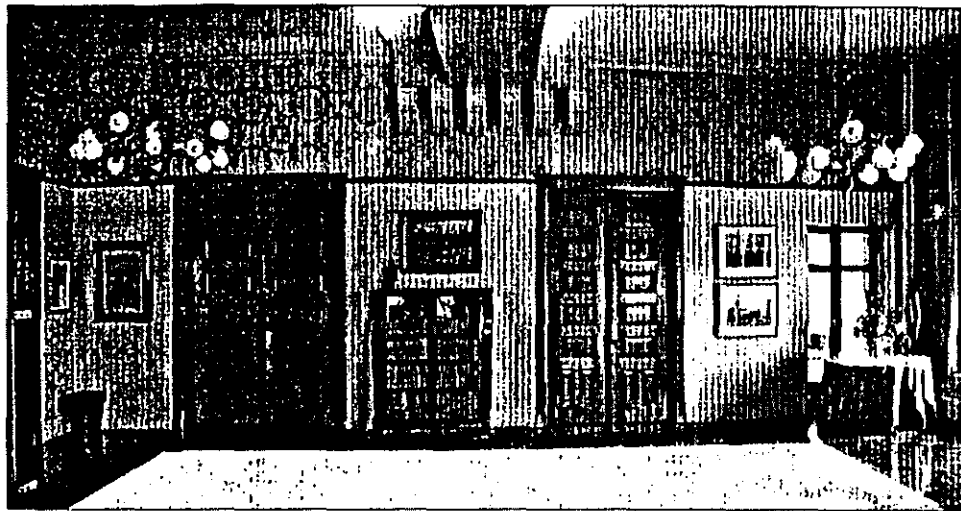


Preliminary Recommendations

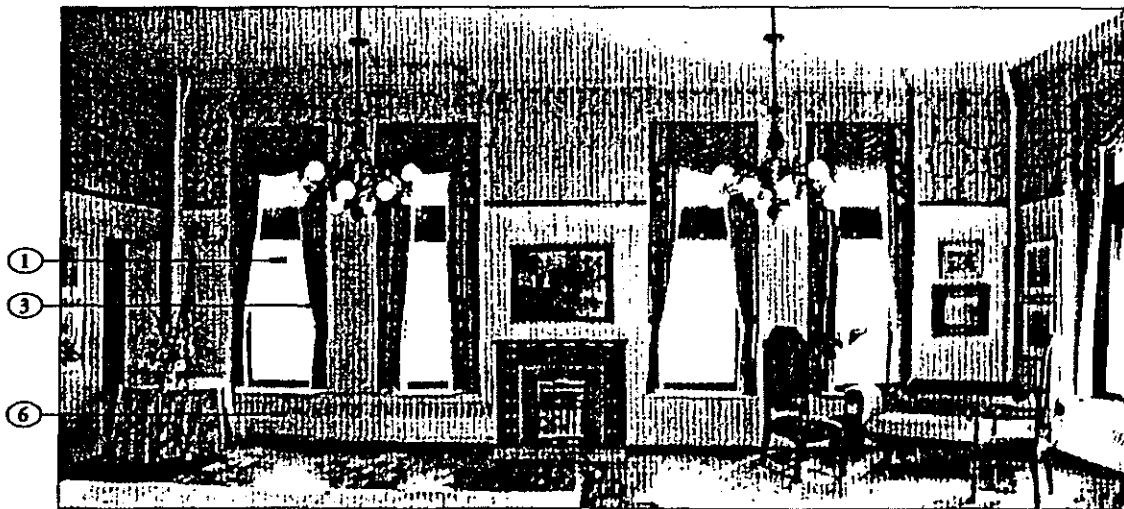
1. Install wood historic profile sash windows. Windows were painted maroon at sashes, grey at frame on the exterior, and were stained oak on the interior.
8 - 40 sq. ft. each
2. Verify original color scheme including stencil patterns.
3. Examine cut and design of new curtains.
 - Determine if appropriate.
4. Maintain oak floor and area rugs.
5. Retain Victorian furnishings.
6. Install new heating and cooling system -see "Mechanical" section.

Note: Replace fin tube covers with more historic look covers.
Refinish upper portion of west wall as needed upon installation of new system.



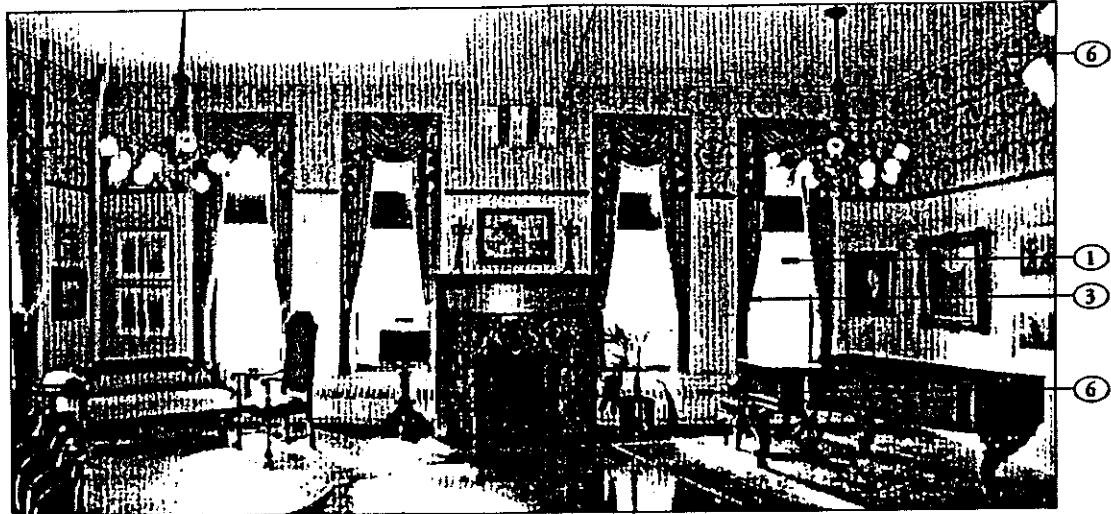


A - View looking North

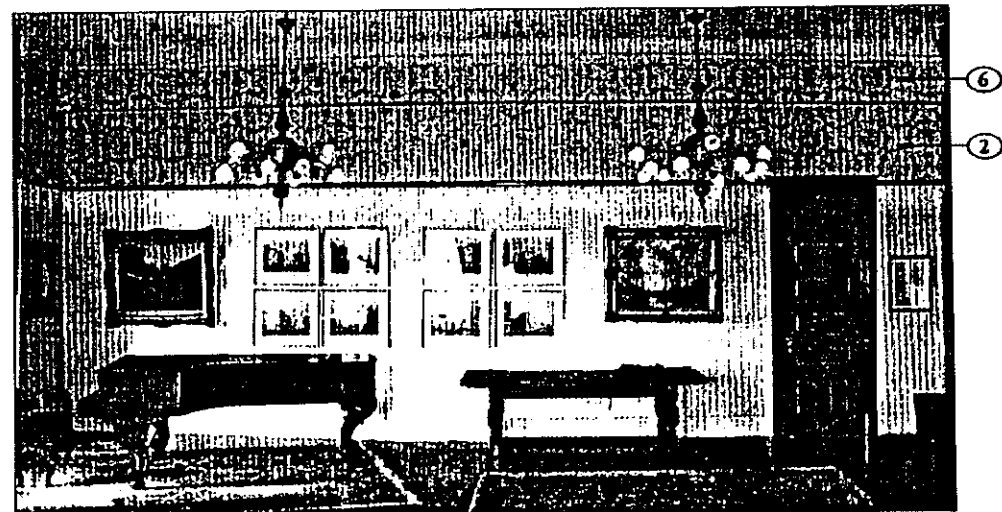


B - View looking East





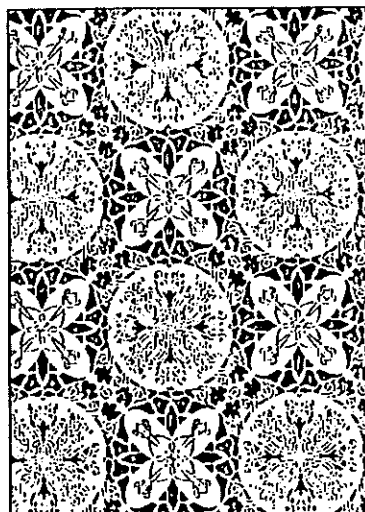
C - View looking South



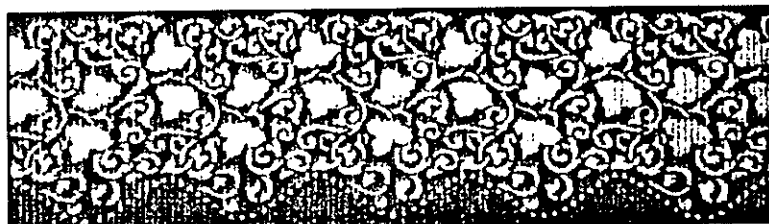
D - View looking West



Corbel



Stencil above wainscoting.



Stencil on wainscoting.

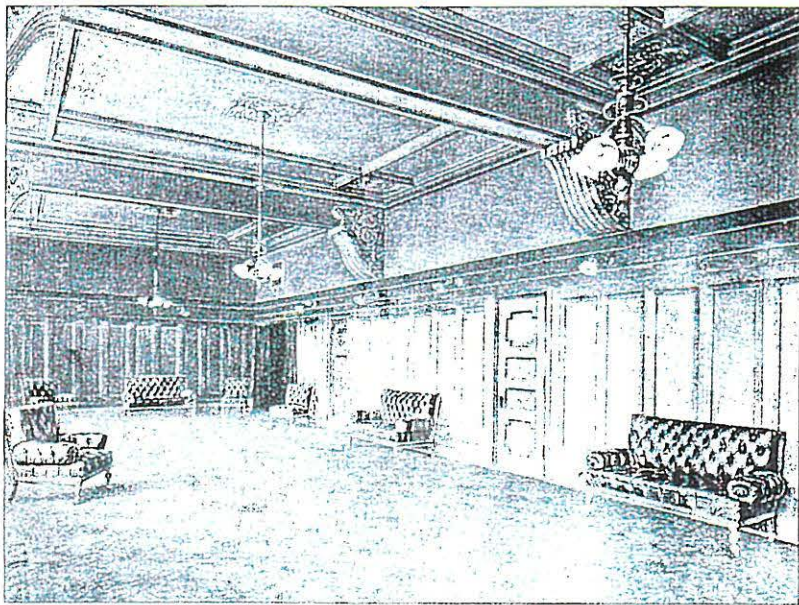
Original Interior Finishes

- Painted walls: Gold stencil on blue ground
- Wainscoting: White stencil on blue ground
- Corbels: To be determined
- Wood trim, doors and frames: Oak
- Hardware: Dull bronze
- Curtains: Light blue and silver gray
- Fireplaces: Carved oak framing with mosaic inlay
- Flooring: Aubusson carpets

This information was obtained from the following book: Edward A. Garczynski, Auditorium (New York, Philadelphia and Chicago: Exhibit Publishing Company, 1890).



Faculty Lounge



Original Condition



Current Condition

Original Use

Present Use:

Faculty Lounge

Original Use:

Men's Smoking Room

Location:

Second Floor

The Faculty Lounge was originally the gentleman's Smoking Room. The room could be reached during intermission by a half flight of stairs from a corridor near the Auditorium Theatre boxes. Portieres hung from the main entrance to the room, which was located on the northwest wall. Access to the room could also be gained through a corridor on the second floor. Pendant light fixtures that hung from the center of the ceiling coffers and sconces installed above the oak wainscoting lit the room. A cast iron fireplace was located on the south wall. The wine and maroon patterned carpeting found in the Auditorium Theatre continued into the Smoking Room. At the time, this room was rarely patronized because the men preferred to descend to the lower foyer during intermission.

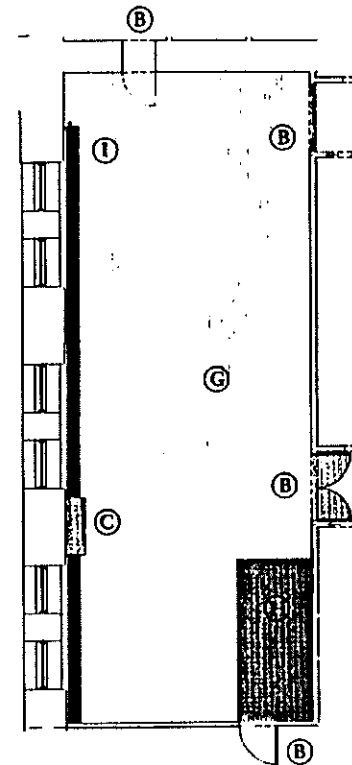
Since the 1960s, the room has been maintained as a faculty lounge.

Alterations to Original

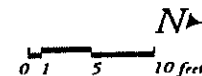
- A. Original design of the room was retained, including the oak wainscoting and ornament on the ceiling.
- B. Main entrance moved further east. Doors replaced a portiere as an entrance. Other doors added.
- C. The original fireplace was replaced with a fireplace from another room in the hotel.

1960s

- D. Lighting
 - Modern fixtures suspended from the ceiling.
 - Sconces removed.
- E. Original paneled doors replaced with flush doors.
- F. Wooden grilles installed above wainscoting to improve ventilation.
- G. Original carpeting replaced.
- H. Small section of linoleum flooring installed in northeast corner.
- I. Perimeter radiator heating installed along south wall.

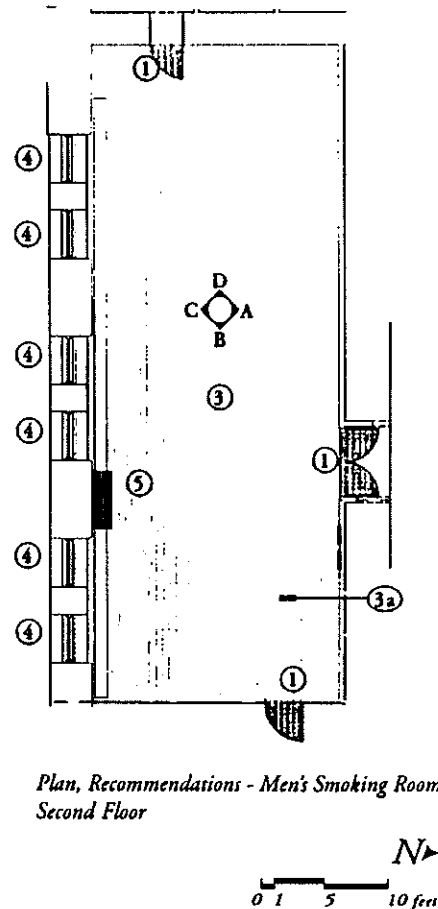


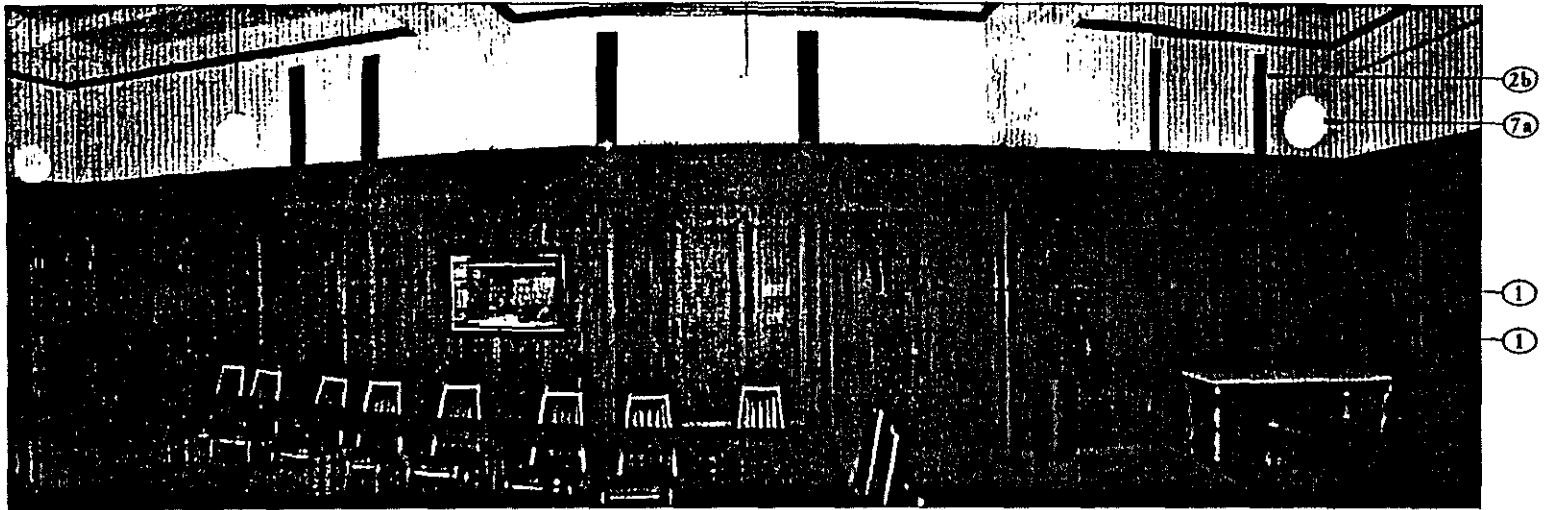
Existing Plan - Men's Smoking Room, Second Floor



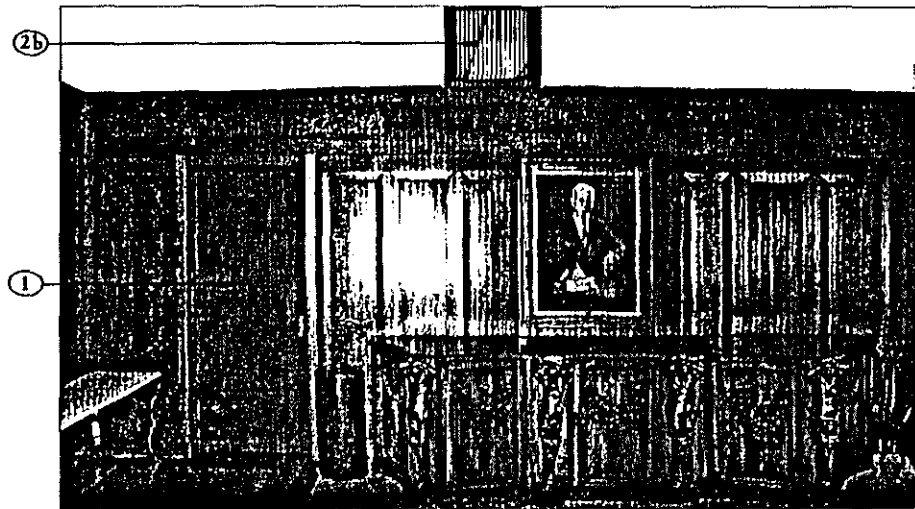
Preliminary Recommendations

1. Install new paneled oak doors similar to the ones retained throughout the building.
2. Interior finishes
 - Determine original color scheme of ceiling and plaster ornament.
 - Coordinate minor repairs for new mechanical grills.
 - Repaint.
3. Remove existing carpet and linoleum, and install new carpeting throughout similar to that reproduced for the Auditorium Theatre.
4.
 - Install wood historic profile sash windows.
 - Install wooden blinds to reduce glare.
5. Retain fireplace.
 - Although not original to this room, one of the few original fireplaces to the building.
6. Install new heating and cooling system - see "Mechanical".
7. Reproduce original pendant light fixtures and sconces - see "Lighting" section for details.





A - View looking North

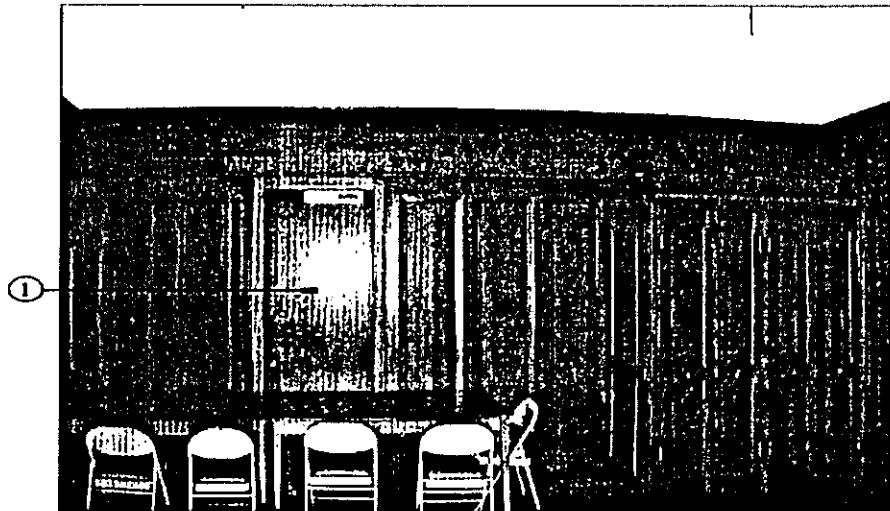


B - View looking East

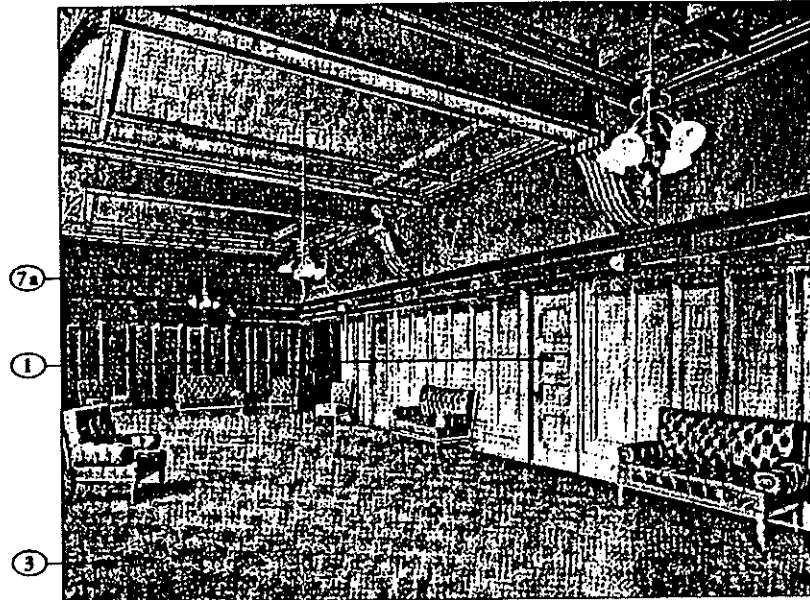




C - View looking North



D - View looking East



Original condition of Faculty Lounge. (Garczynski)

1. Install new paneled oak doors similar to the ones retained throughout the building. Stain to match wall panels.
3. Flooring:
 - a. Remove existing linoleum.
 - b. Remove existing carpeting.
 - c. Install new carpeting and underlayment throughout. Carpeting to be similar to that reproduced for the Auditorium Theatre. 1,015 sq. ft.



2. Interior finishes

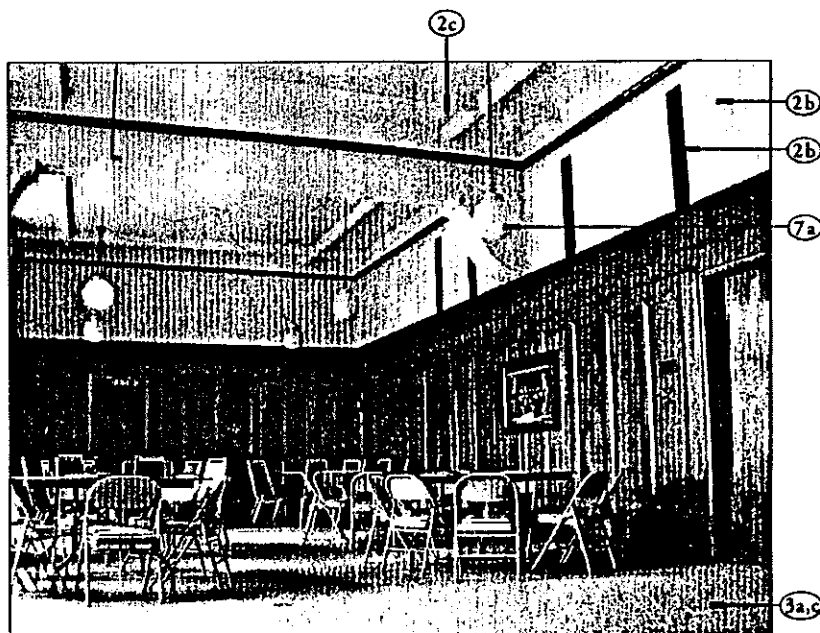
- a. Determine original color scheme of walls, ceiling and plaster ornament.
- b. Repaint wall above wainscot, including painting the ventilating grills to make less obtrusive. Coordinate with new mechanical grill locations 600 sq. ft.
- c. Repaint ceiling, 1,150 sq. ft.

- 4. a. Install historic profile sash windows. Windows were painted maroon at sashes, grey at frame on the exterior, and were stained oak on the interiors.
- b. Install horizontal wooden blinds to reduce glare.
6 windows @ 3'-6" x 6'-0"
6 windows @ 3'-6" x 2'-6"

5. Retain fireplace. Clean as needed.

7. Lighting

- a. Replace pendant globes with pendant brass fixtures, based on historical photograph.
- b. Add historical sconces to perimeter wainscoting.
- c. Add additional lighting to balance light levels for meeting room standards.



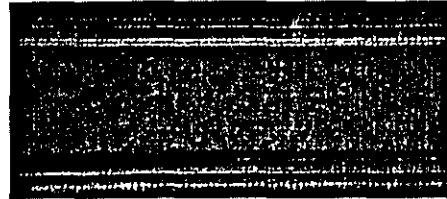
Current condition of Faculty Lounge.



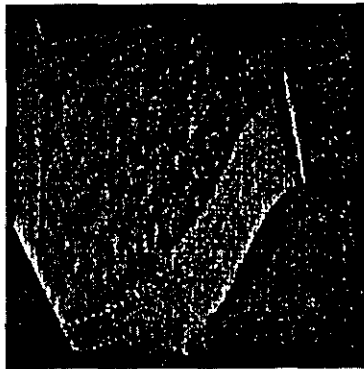
Fireplace on south wall.

Original Interior Finishes

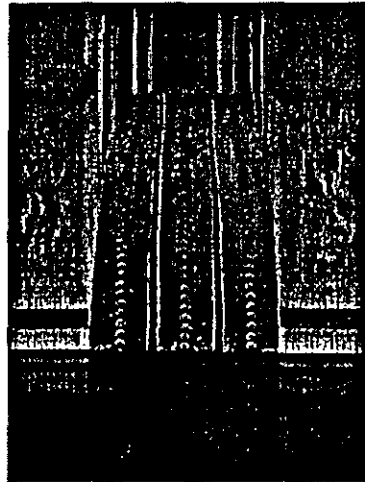
- Coffers: To be determined (Dark ivory?)
- Painted walls: To be determined (Dark ivory?)
- Wood paneled walls: Dark stained oak.
- Corbels: To be determined.
- Beams: To be determined.
- Plaster / Frieze: To be determined.
- Wood doors: Oak stained dark.
- Hardware: Dull bronze.



Beam



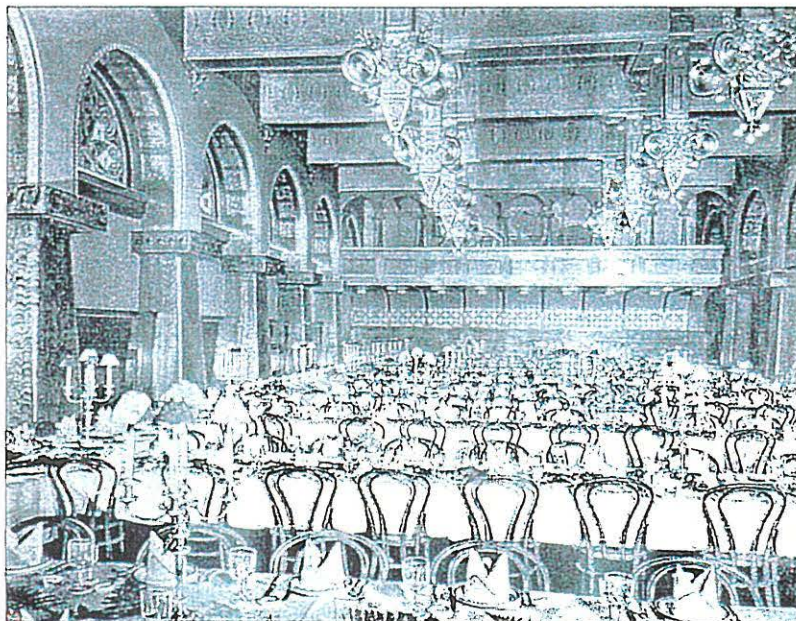
Corbel



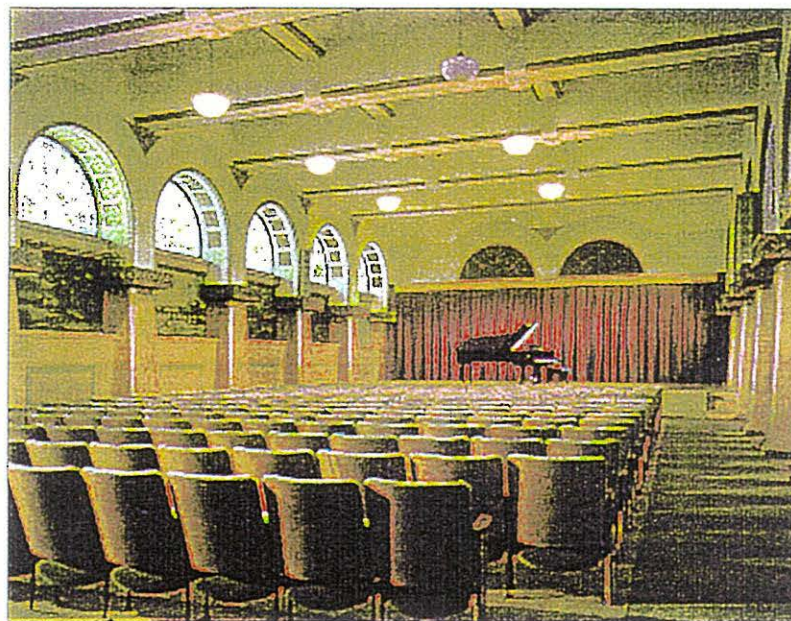
Corbel



Rudolph Ganz Memorial Recital Hall



Original Condition



Current Condition

Original Use

Present Use:

Recital Hall

Original Use:

Banquet Hall

Location:

Seventh Floor

One of the grandest interior spaces, the former Banquet Hall was in fact one of the last spaces built, added when the construction of the Auditorium Building was nearing its completion. When it was decided that a larger formal banquet hall was needed, a special structural support system was devised. The Banquet Hall was encased in a system of long-span iron trusses which rested on load-bearing masonry walls over the Auditorium Theater below.

A dedicated elevator on Congress Avenue brought patrons to the seventh floor Banquet Hall. Originally, the panelled antechamber was divided into three sections marked by two cross beams. On the left, three sets of double doors enclosed the men's smoking room. On the right, two fretwork columns marked the entry to the ladies' parlor. Each parlor was equipped with toilet rooms, closets and separate entrances to the main hall.

The Banquet Hall itself was two

stories high with a musician's gallery at the north end of the room. Richly grained tiger birch (false) columns and panelling graced the perimeter of the room. Elaborate plasterwork arches and ceiling beams added to the luxurious feeling and supported striking cast-iron pendant electroliers. Stained glass windows were located in each of the arches as well as in the lunettes at the south end of the room and in the musician's gallery. Oil paintings by Albert Fleury were soon added below many of the lunettes. The antechambers and hall were serviced by a hallway and support services to the northeast on the sixth, seventh and eighth floors.

In the late 1950s the room was dedicated in honor of Dr. Rudolph Ganz, president emeritus of the University's Chicago Musical College, and is maintained today as a recital hall.

Alterations to Original

A. Antechambers

- Removed ferretwork columns at entrance to the ladies' parlor.
- Removed doors and to the men's room.
- Structural changes made to support the resulting large open space.

Main hall

- ### B.
- In the early 1900s, the Hall was used as a Masonic Lodge and a balcony was placed at the back

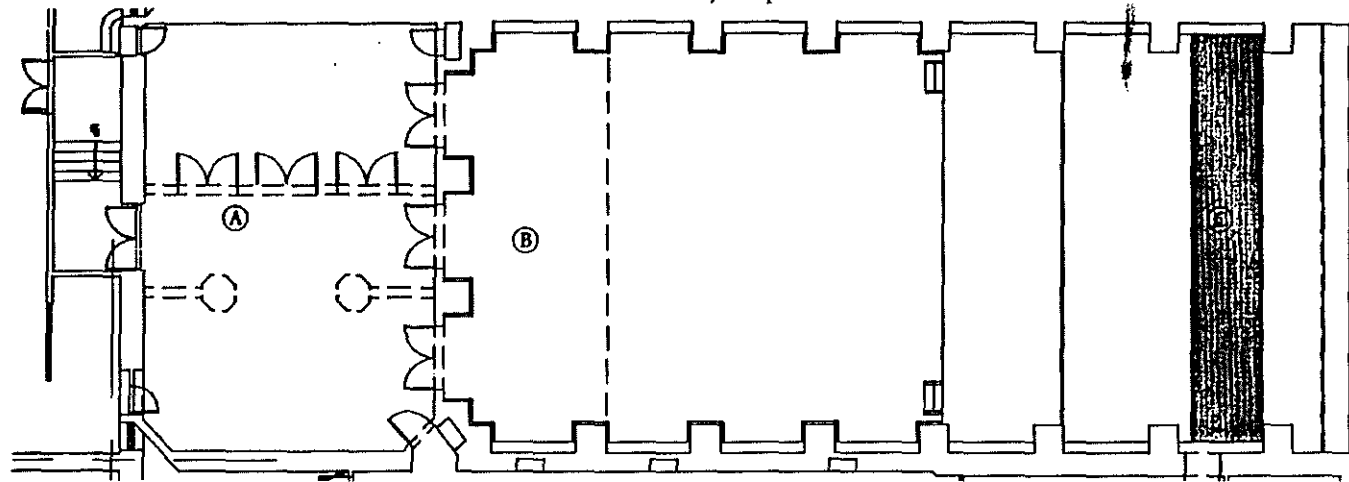
above the second set of piers.

- ### C.
- Musicians' gallery was removed.

- ### D.
- Stencils and ornament covered in layers of paint. Acoustic tile added to face of beams. Stained glass windows painted black.

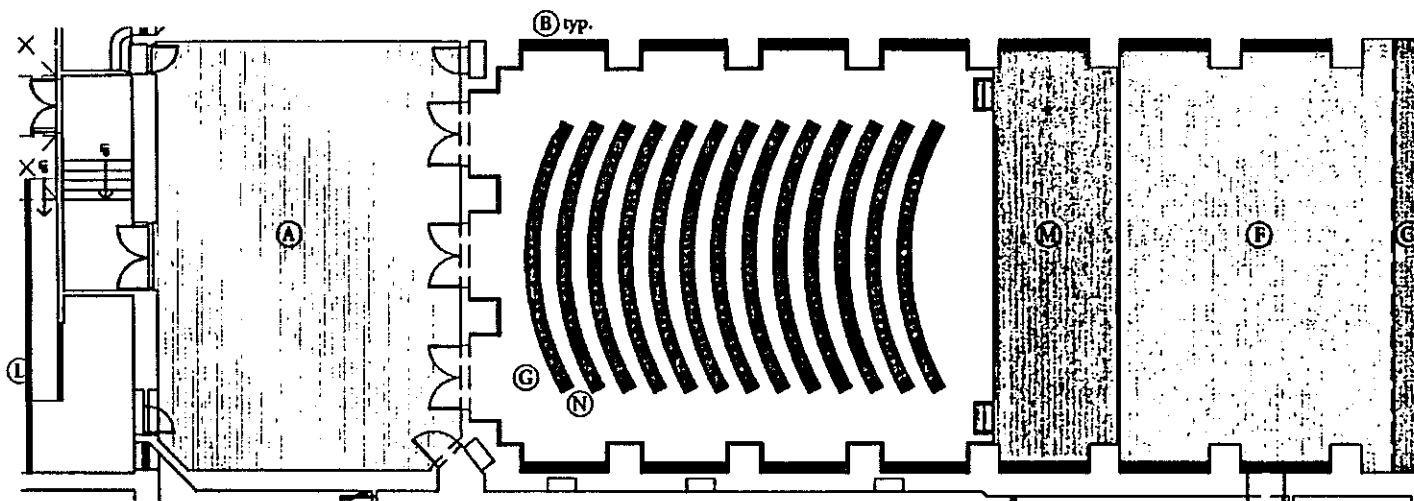
E. Lighting

- Cast-iron electroliers removed.
- Hanging lights suspended from the original settings in plaster ornament.

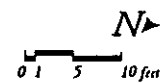


Plan, Alterations - Ganz Hall, Seventh Floor





Existing Plan - Ganz Hall, Seventh Floor



Remodeling/Partial Restoration

Restoration, 1956 - 1957
Crombie Taylor, Architect

A. Antechambers

- Installed new wainscoting throughout to the original height of wainscoting in the ladies' parlor.
- Stencil pattern above paneling in ladies' parlor recovered but not reproduced.
- Stained glass skylights repaired.
 - Fluorescent lamps installed as backlighting.
 - Hanging light fixtures added to supplement fluorescent lighting.
- Grills
 - Repaired ceiling grills.
 - Replaced wall grills with stock design.
- Toilets and closets became smaller storage areas.
- New oak strip flooring installed on top of the original soft wood flooring.

Woodwork

- Removed Masonic Lodge balcony.
- In removing the balcony, damaged wainscoting and

capitals at the perimeter were replaced, some with plain birchwood panels.

- Paneling without fretwork was fabricated for the east wall.
- Curly birch wainscoting and columns were refinished.

Musicians' gallery

- Reproduced front paneling and molding using fragments.
- Upper portion of gallery not reconstructed.
- Replaced ribs on the cove.
- Fabricated and installed two piers (at the north end) and their capitals (cast from existing ones) to replace those removed.

D. Stencils

- Majority of stencil patterns were recovered.
- Some of the patterns reproduced for later restoration.
 - Reproductions remain on the soffits and on the side and rear walls of the hall.
- Stencils were not replaced on the beams.

E. Stained glass windows

- Paint removed.
- Repairs made where necessary.

- Windows from the musicians' gallery were removed and placed above the rear entrances.

Concert platform installed.

G. Permanent seating installed.

H. Interior finishes

- Ceiling painted white.
- Check moldings on the beams' edges were painted gold.
- Upper walls painted blue-green.

Partial Restoration, 1974

- #### I. Stained glass windows restored and repaired.

Remodeling, 1980

Office of John Vinci, Architect

- #### J. Removed original exterior metal wall. Insulation, dryvit clad wall and storm windows installed.

K. Mechanical system updated.

- #### L. Ramp added at entrance to make Hall accessible. (Elevator had been removed much earlier.)

Remodeling, 1998

- #### M. Stage extended.

Remodeling, 1999

Booth/Hansen & Associates

- #### Seating refurbished and reupholstered, new carpeting installed.

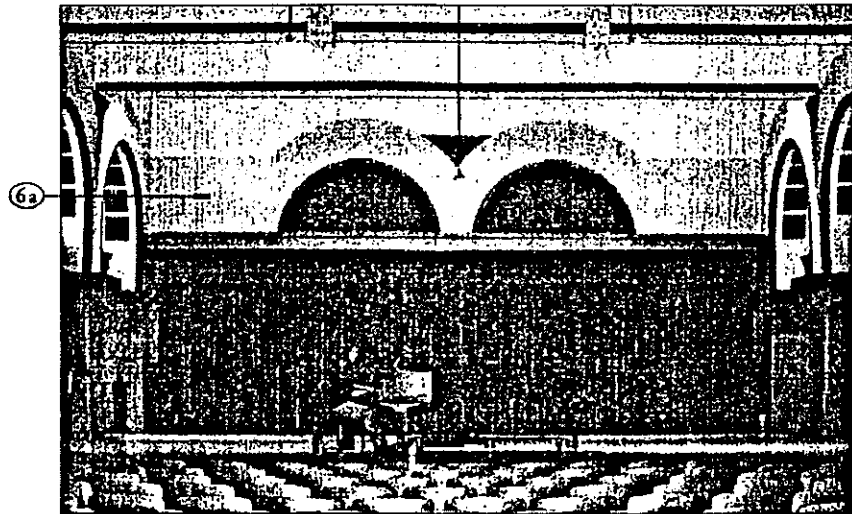


Preliminary Recommendations

1. Antechambers
 - Replace metal doors with custom birch panel doors to match existing.
 - Reproduce and install stencil used above the wainscoting in the ladies' parlor.
 - Reconstruct, from existing fragments, wall grills to conceal the heating units.
 - Install less obtrusive lighting, behind the "skylight" stained glass.
2. Repair seals at insulated glass in exterior aluminum frame storm windows. Vent cavity between stained glass and storm windows.
3. Stained glass windows
 - Conserve/stabilize and reorganize
-  Woodwork
 - Conserve/stabilize
 - Replace fretwork

Note: no recasting of carved capitals.
5. Plaster ornament
 - Record and stabilize the existing plaster ornament.
 - Apply gold leaf to the moldings and plaster ornament.
 - Cast two column capitals.
6. Interior finishes
 - Determine original color scheme and repaint accordingly.
- Stencil patterns
 - Attempt to recover stencils in coffer.
 - Install stencils on beams and arch soffits.
 - Reproduce stencils below lunettes on canvas with gold leaf or gilt.
7. Mural Paintings
 - Clean and restore the Fleury oil paintings.
8. Structural- see "Structural" section
 - Repair damaged clay floor tiles and infill.
 - Repair exterior EIFS-clad walls.
 - Coordinate new steel tube structure of exterior for new lights.
9. Lighting- see "Lighting" section
 - Reproduce gilt electroliers from photographs.
 - Install stage lighting to better meet current standards without detracting from ceiling detail.
 - Install additional lighting and structure at exterior to highlight stained glass.
10. Install new heating and cooling (stand alone) system - see "Mechanical" section.
 - Lack of sufficient humidity.
 - Several wood panels have warped,
 - Fretwork is loose,
 - Piers are cracking.

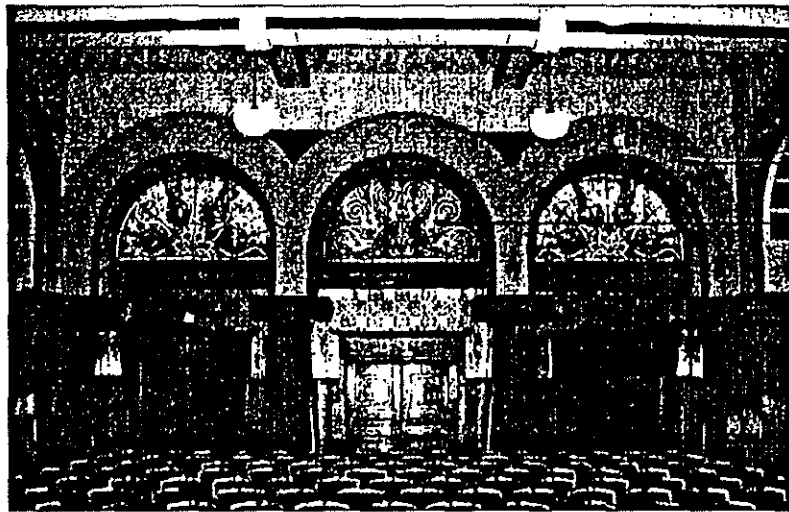




A - View looking North



B - View looking East



C - View looking South

6a

3a

typ.

9a

9b

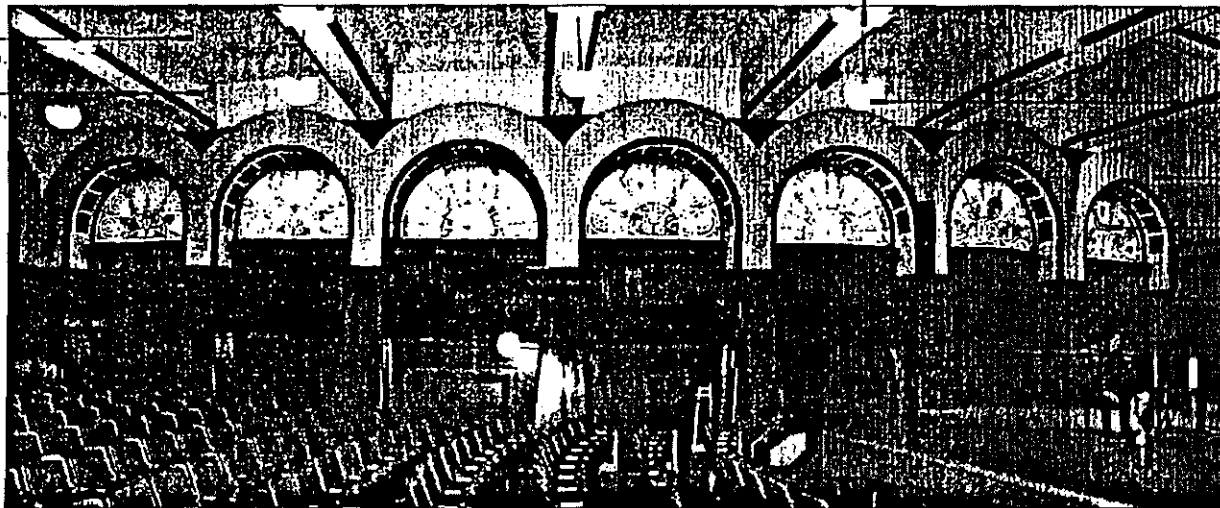
typ.

6b1

typ.

6b2

typ.



D - View looking West

8ab

typ.

6a

3a

typ.

5c

4c





E - View looking North



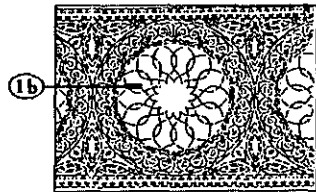
F - View looking East



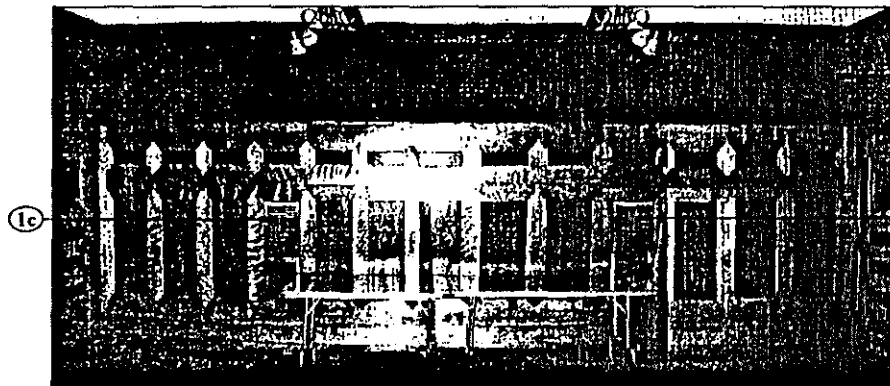
Detail at roof drain.



G - View looking South



*Stencil above wainscoting
in ladies waiting area*



H - View looking West

1. Antechambers

a. Replace two pair metal doors with custom birch panel doors to match existing. Hardware to match existing historic hardware.

b. Repaint and reproduce stencil used above the wainscoting in the ladies' parlor and install throughout the antechamber, above the wainscoting. 400 sq. ft.

Note: Handpainted flowers were intertwined with the stencil to give the appearance of a garden trellis.

c. Reconstruct, from existing fragments, four wooden wall grills to conceal the heating units. 4 @ 5 sq. ft. each

d. If possible, relocate roof drain. Patch, plaster and repaint.

e. Install less obtrusive lighting, behind the "skylight" stained glass. See "Lighting" section.

2. Repair seals at insulated glass in exterior aluminum frame storm windows. 14 windows. Vent cavity between stained glass and storm windows.



3. Stained glass windows - 17
 - a. Replace any broken glass and preserve lead coming.
 - b. Replace blue milk glass with colored glass.
 - c. Determine correct original positions of windows. Reorder.
4. Woodwork - Conserve/stabilize:
 - a. Remove large cracks; pull separated panels together;
 - b. Fill holes; remove miscellaneous added elements such as handles, eye hooks;
 - c. Replace plywood tops (6) of oil painting ledges at stage with birch to match existing;
 - d. Repair and refinish doors (7) and doorways - 45 sq. ft.;
 - e. Refinish wall panels and flat portions of columns - 1800 s.f.;
 - f. Restore fretwork on wall panels (off site). 100 sq.ft.
5. Plaster ornament
 - a. Record and stabilize the existing plaster ornament.
 - b. Apply gold leaf to beam moldings and arch soffits. 180 sq. ft.
 - c. Recast two column capitals at north, paint wood faux finish.

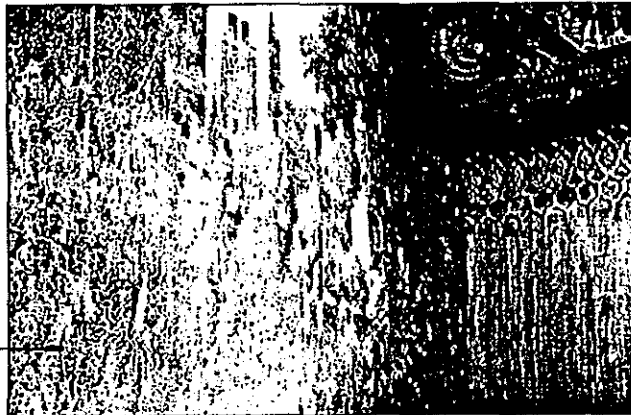


Original condition of Dining Room. (Garczynski)

4c

4e

typ.



Deteriorated Fleury painting.



Detail of cracking piers.

6. Interior finishes

a. Determine original color scheme of paint, stencils and plasterwork. Repaint all. (flat walls -570 sq. ft.)

b. Stencil patterns

1) Attempt to recover stencil in the coffer. 1,950 sq. ft.

2) Install stencils on the face and bottom of all beams. 865 sq. ft.

3) Reproduce stencils below lunettes on canvas with gold leaf or gilt. 190 sq. ft.

4) Install stencils at arch soffits. 150 sq. ft.

7. Remove, clean and restore the Fleury mural oil paintings

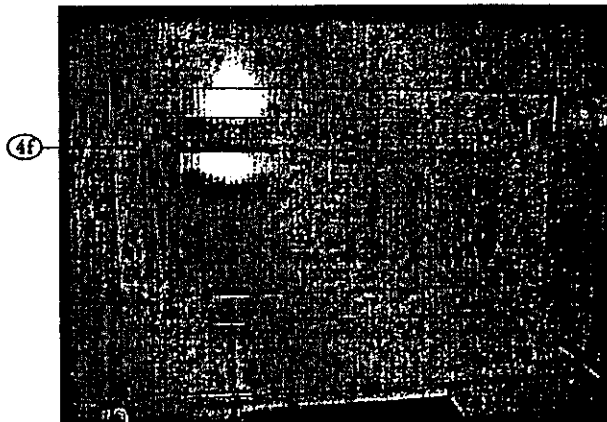
(10- 8'x6') off site. Provide skim coat plaster (to total minimum 2" thickness) for mural reinstallation.

10. Install new heating and cooling (stand alone) system - see "Mechanical" section.

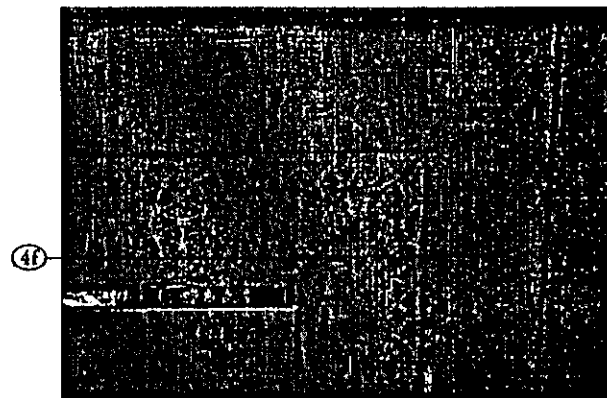
a. Lack of sufficient humidity.

- Some wood panels warped,
- Fretwork is loose,
- Piers are cracking.





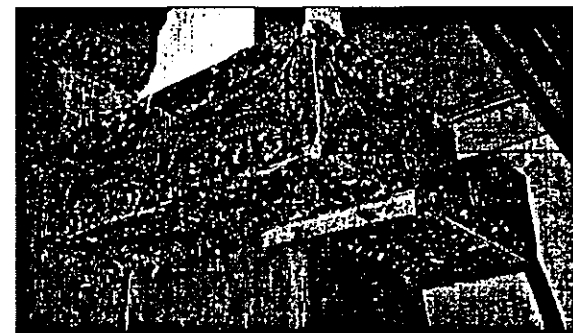
Detail of wall panel missing fretwork.



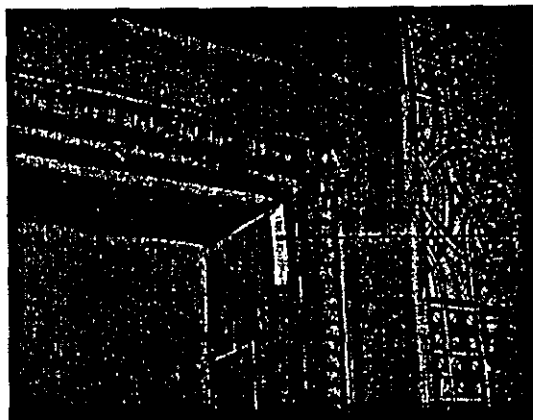
Typical detail at damaged fretwork.



North, east column capital detail.



North, west column capital detail.



Door frame detail.

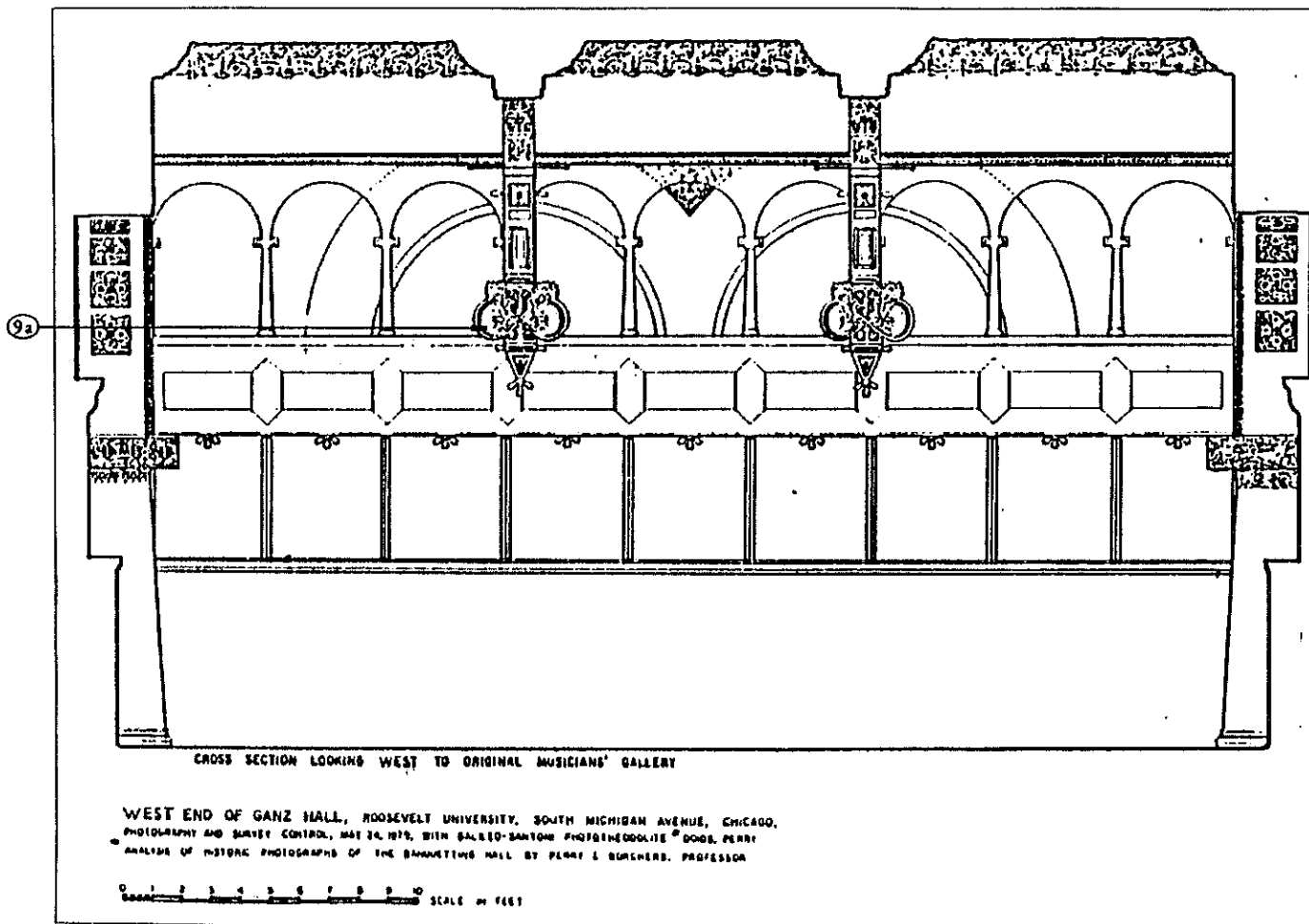


Detail of peeling wallpaper stencil.

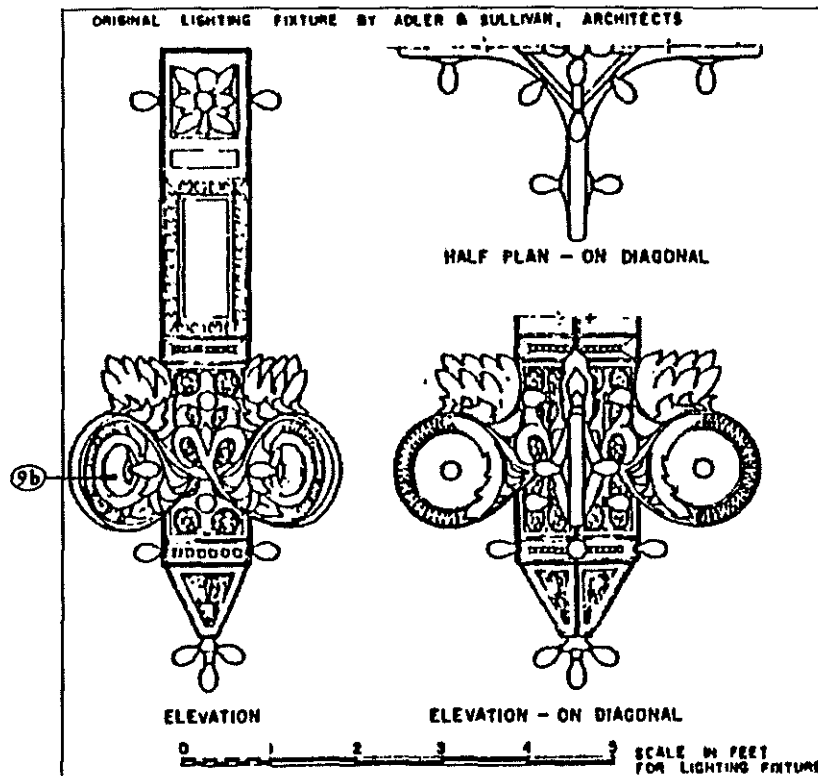


View from the stage of oil painting ledge.





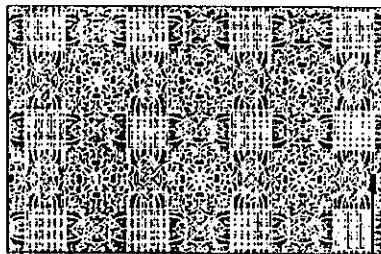
HABS drawing of Ganz Hall.



HABS drawing of electroliers.

9. Lighting - see "Lighting" section
 - a. Remove existing pendant fixtures.
 - b. Reproduce eight pendant electroliers from photographs and drawings. Original metal connection points remain. Coordinate with lighting and acoustical consultants.
Note: Metal anchor straps to be gilded.
 - c. Install supplemental hall lighting, if needed.
 - d. Install stage lighting to better meet current standards without detracting from ceiling detail.
 - e. Install additional lighting and metal tube structure at exterior to highlight stained glass.





Stencil on various panels below lunettes.

6b3

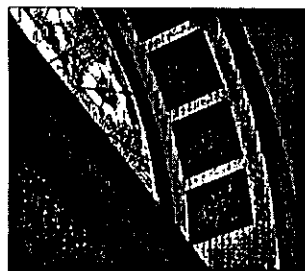
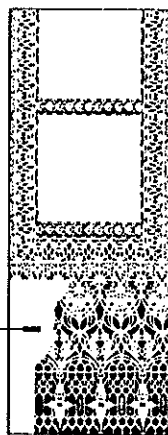


Photo detail of arch soffit.

6b4



Arch soffit stencil.

6b1

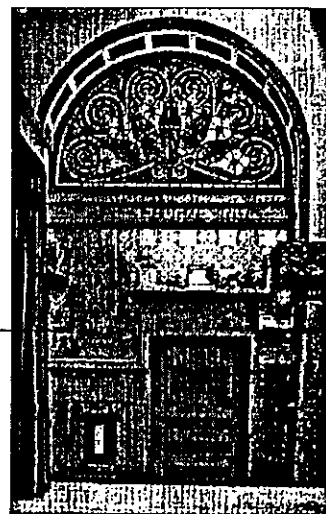
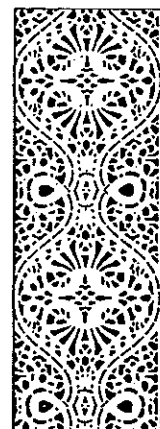


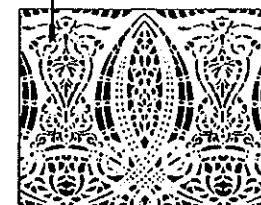
Photo detail of stencil on foil.



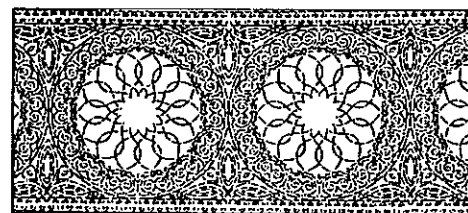
Stencil on underside of beams - photo detail of beam.



6b2



Stencil on face of beams.



Stencil above wainscoting in ladies waiting area.

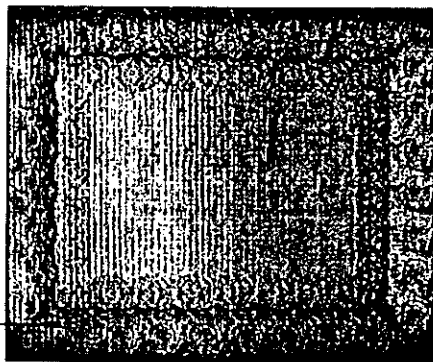
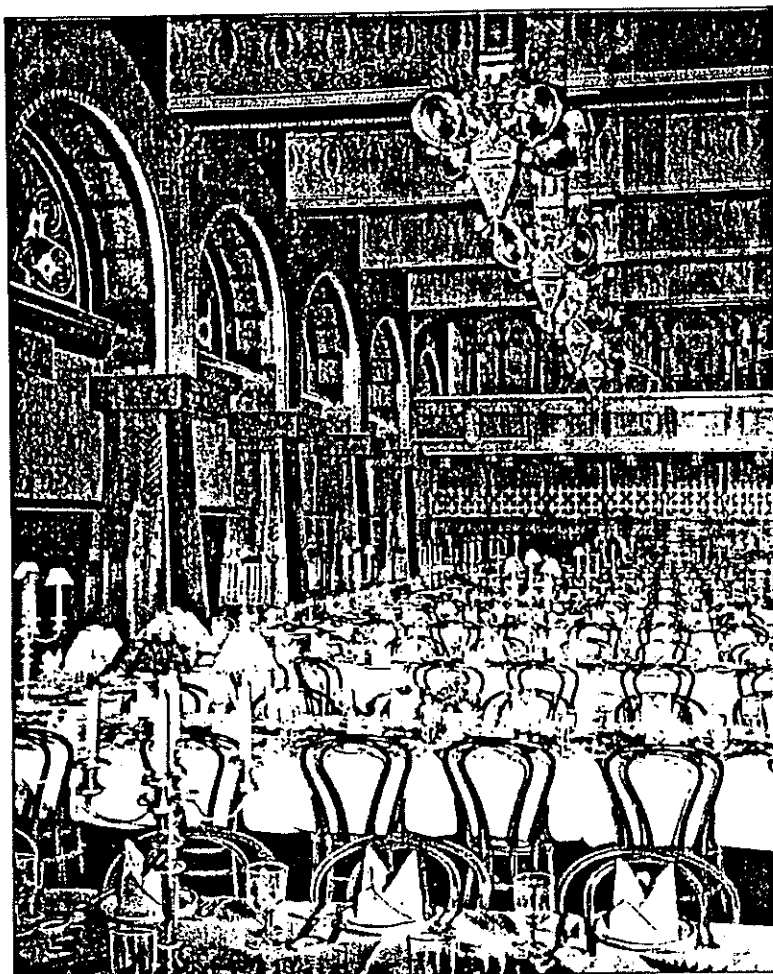


Photo detail of ceiling coffer.



Original condition of Ganz Hall. (Garczynski)

Original Interior Finishes

Antechamber - Ladies Waiting Area

- Wall above wainscoting: Gold stencil on dark brown with handpainted flowers intertwined.
- Wainscot: Tiger birch paneling.

Banquet Hall

- Columns: Tiger birch paneling.
- Column capitals: Carved birch.
- Wainscot: Tiger birch paneling with fretwork inset panels.
- Panel below lunette: Green on gold stencil or oil painting on canvas by Albert Fleury.
- Walls: Warm green.
- Triangular decoration at end of beams: Gilt.
- Cornice between cross beams: Frieze of gold arabesque stenciling.
- Electroliers: Richly gilt with a green arabesque stenciling.
- Ceiling - Rib molding around coffer: Green.
- Coffers: Gold stencil, small central space in each compartment undecorated.
- Beams, face and bottom: Green stencil on gold.
- Check molding at edge of beams: Rich gold leaf.
- Arch soffits: Gilded coffers surrounded by green stencils on gold.

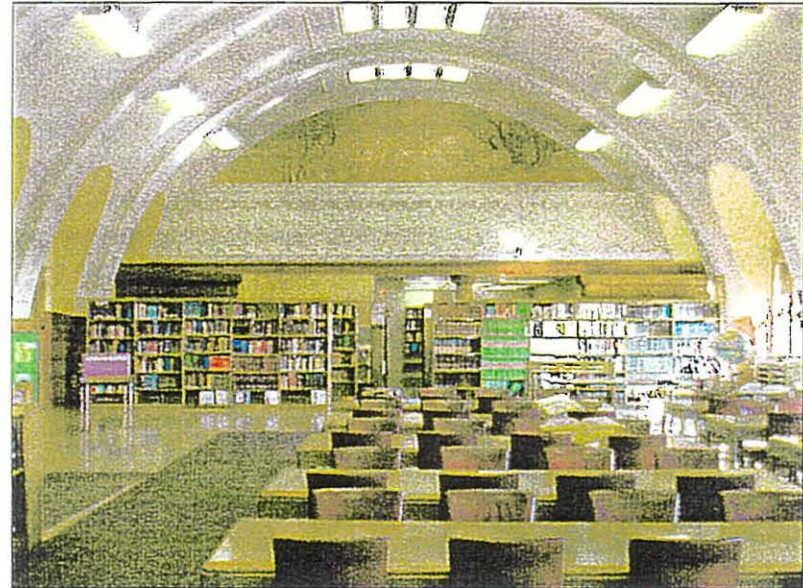
This information was obtained from the following book: Edward A. Garczynski, Auditorium (New York, Philadelphia and Chicago: Exhibit Publishing Company, 1890).



Reading Room



Original Condition



Current Condition

Original Use

Present Use:
Reading Room

Original Use:
Dining Room

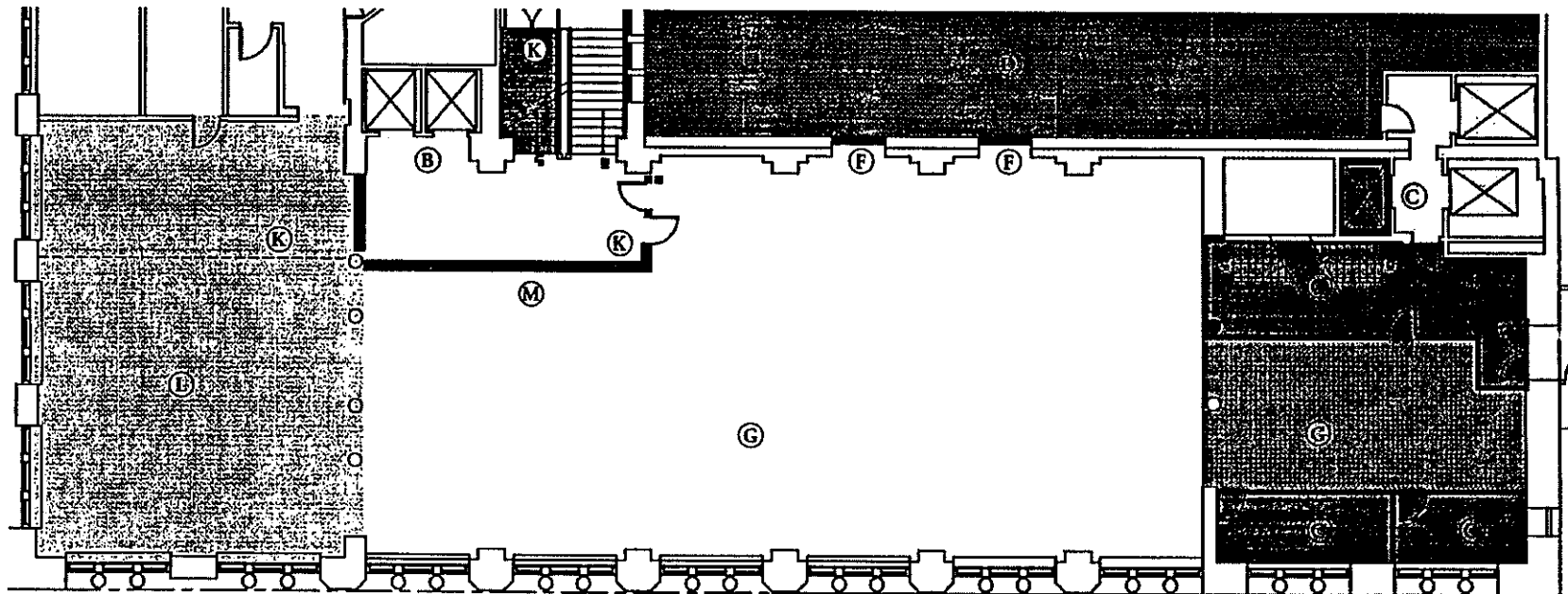
Location:
Tenth Floor

This grand space was originally used as a public Dining Room. An elevator at the south end of the room brought guests up from the Michigan Avenue Lobby or hotel rooms. The elevators opened north into a vestibule illuminated by stained glass windows along the staircase. Guests then turned east to the main hall, which was

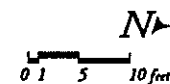
covered by a monumental barrel vault and stained glass skylights, flanked by intimate dining chambers. Diners could look out onto Lake Michigan through the windows located in lunettes along the entire length of the east wall. Mahogany paneling and detailing line the room. Mahogany piers and columns marked the entrance to the

two wings and mahogany fretwork doors on the west concealed the entrance to the kitchen. Behind the doors, a bridge spanned the light court to connect the dining room to the kitchens.

Today the area is used as a library reading room and contains library staff offices for Roosevelt University.



Existing Plan - Reading Room, Tenth Floor



Alterations to Original

- A. Original design of the room was retained, including mahogany wainscoting and columns, the barrel vaulted ceiling with decorative plasterwork ribs and graceful lunettes at the walls.
- B. Elevator replacements in 1950s altered the approach into the room from the original vestibule to direct entry at the east wall. The staircase adjacent was extended to the eleventh floor, replacing the elevator vestibule.
- C. North wing
 - Offices constructed along the east side.
 - In 1973, original service staircase at the west side was removed and an elevator constructed in its place.
 - A staircase was extended up from the ninth floor.
 - Partition wall and fire door enclosing the staircase extension conceal one of the original columns.
 - False ceiling added. Original ornament of frieze and ceiling preserved underneath.
- Wood painted.
- D. Walter E. Heller Center constructed in 1973 in the original light and air court to the west of the reading room. This area currently functions as the periodical and teaching room.
- E. Lower ceiling installed in the periodical area to accommodate air conditioning.
 - Ceiling and fluorescent lighting are clearly visible from the reading room
 - Creates an unsympathetic transition between the two spaces.
-  Mahogany doors removed from the two west bays.
 - One doorway is sealed with concrete blocks.
- G. Linoleum tile flooring covers the original Roman mosaic floor.
 - Mosaic tile uncovered in the south wing.
- H. Lighting / Windows
 - Skylights on vault were removed due to leakage and deterioration.
 - Recessed lighting replaced the original floodlights above the skylights.
 - Fluorescent lights installed on the vault and in the wings.
 - Small light bulbs imbedded in the plaster relief were removed and the sockets were sealed with plaster.
- I. Decorative changes:
 - Frieze and ceiling painted white.
- J. Signs and fixtures added.
 - Distracts from the interior décor.

Partial Restoration, 1980 *Office of John Vinci, Architect*

- K. Firewall moved.
 - Glass wall and door added to screen original staircase and landing between ninth and tenth floors. Previous firewall surrounding elevator and south wing exit removed.
- L. Restored the south wing.
-  Bookshelves and gate added in front of elevators.



Preliminary Recommendations

Reorganization and Structural Changes

Note: Current strategic planning calls for the conversion of the library into a multi-purpose special function hall.

-  Relocate staircase in the north wing.
 - Construct new fire staircase, connecting to ninth and eleventh floors, at the north end of the adjacent "periodical room."
 - Benefits to staircase removal:
 - Expose original column.
 - Renew symmetry of room.
-  Reorganize north wing.
 - Relocate the library staff offices.
 - Remove office walls.
-  Relocate the grand stairway extension leading to the eleventh floor.
 - Relocate stairway in the south end of the periodical room, if possible with code requirements.
- 4. Install new wood windows and hardware to match South wing.

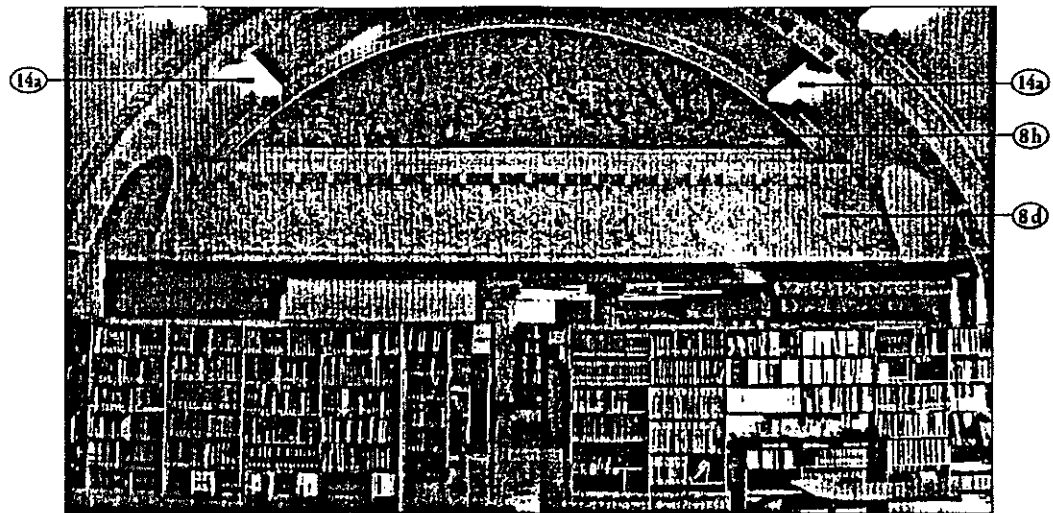
Restoration

- 5. Remove dropped ceiling in north wing, to expose the original coffered ceiling.

Note: New lighting fixtures and mechanical distribution will be required.
- 6. Remove dropped ceiling in "periodical room" and install new raised ceiling.

Note: Some mechanical ductwork may have to be relocated. Also, when doors from the main room are reinstalled, depending upon the future use of this space, this ceiling could remain.
- 7. Reconstruct skylights on the vaulted ceiling.
 - Reproduce stained glass panels.
 - Use natural light, if possible.
 - Relocate mechanical ducts.
- 8. Interior finishes:
 - Determine original color scheme.
 - Remove paint from mahogany paneling in north wing and restore to original finish.
 - Repair and repaint all plasterwork.
 - Restore woodwork.
 - Reproduce stencil patterns, reinstall them on the main vault and ceiling of north wing.
 - Conserve oil mural paintings in the tympanums.
-  Reconstruct mahogany doors with fretwork panels on the west side of the room, and mahogany panelling in south wing.
- 10. Expose and repair mosaic flooring in north wing and main hall.
 - Use area carpet, if necessary, for high traffic areas and to control noise.
- 11. Install wooden venetian blinds to control glare.
- 12. Structural repairs- see "Structural" section.
 - Weatherstrip south wing windows.
 - Repair roof, parapet, and flashing details.
- 13. Install new heating and cooling system, see "Mechanical" section. Refinish fin-tube covers.
- 14. Lighting - see "Lighting" section.
 - Remove surface-mounted fluorescents.
 - Restore arch soffit plaster settings.
 - Restore lighting around the columns and behind the skylights.
 - Supplement with auxiliary lighting.





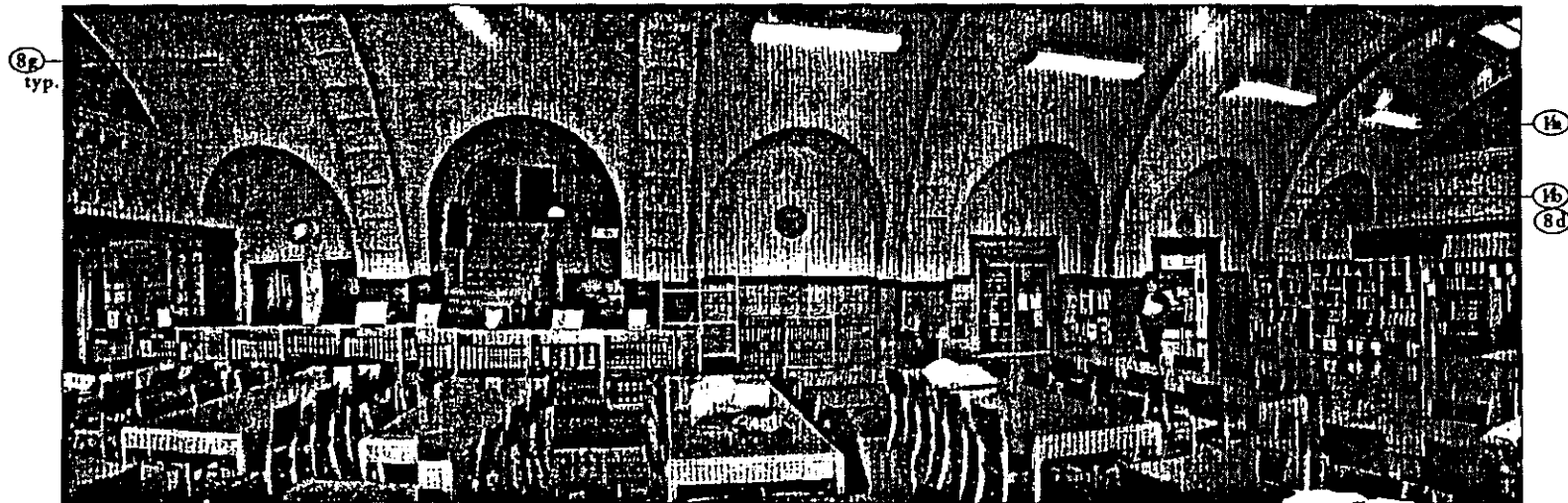
A - View looking North



B - View looking East

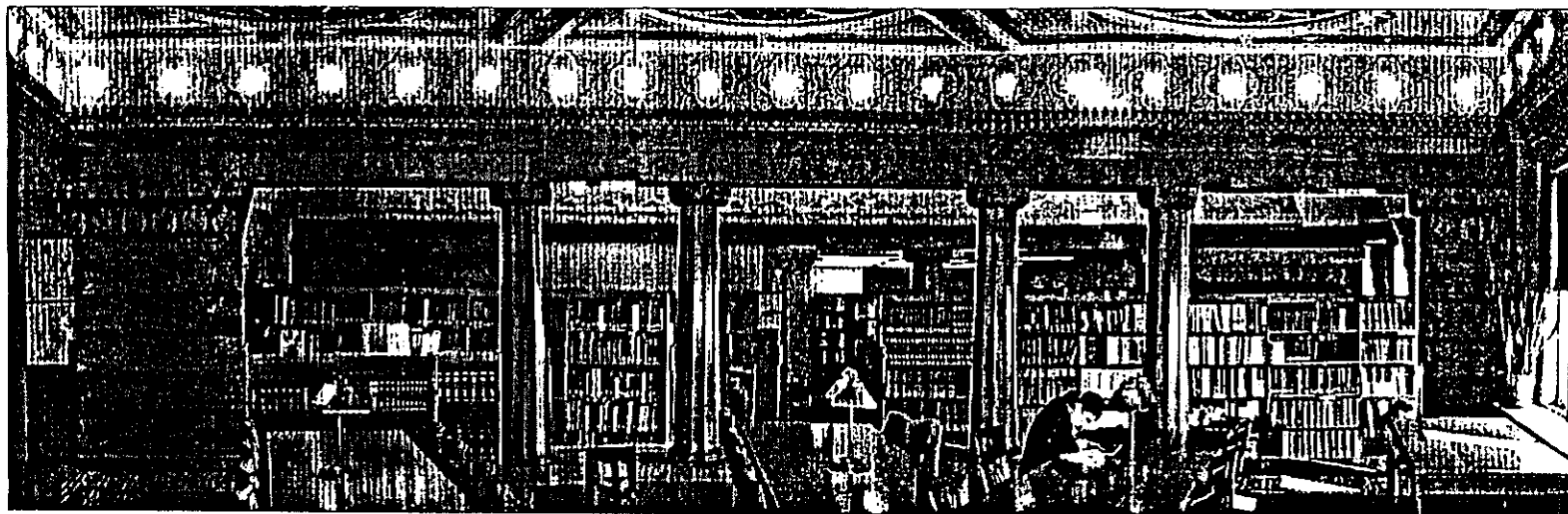


C - View looking South



D - View looking West





E - View looking North

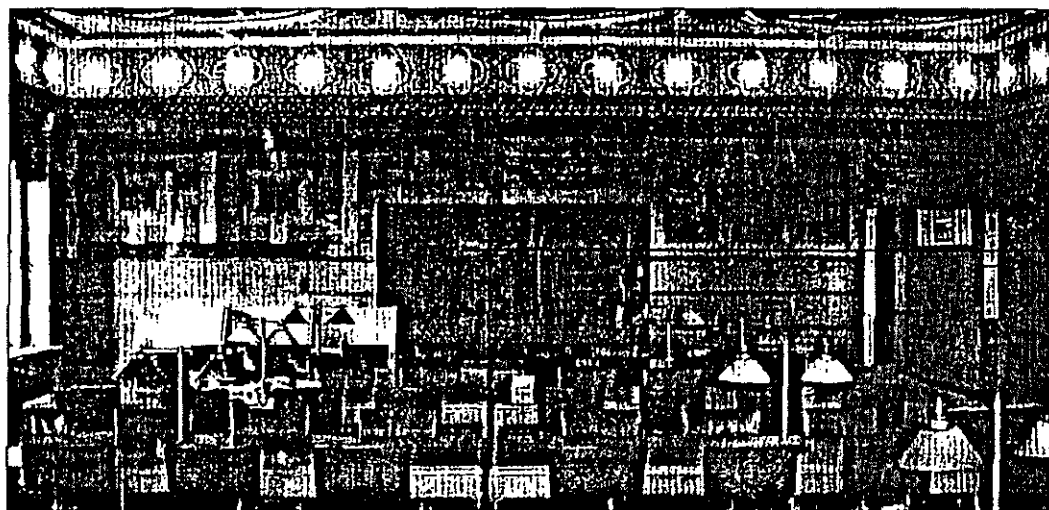


F - View looking East



⑪
⑫

G - View looking South



⑨

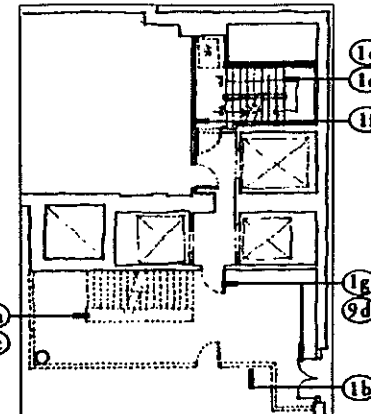
H - View looking West



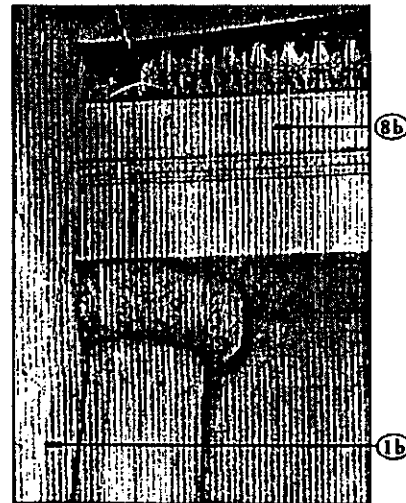
1. Relocate staircase in the north wing. Construct new fire staircase, connecting to ninth and eleventh floors, at the north end of the "periodical" room.
 - a. Demolish existing concrete-metal pan stairs at ninth and tenth floors.
 - b. Demolish fire partition wall.
 - c. Frame out and infill floor on tenth and eleventh floors.
 - d. Frame out openings at tenth and eleventh floors at new location in "periodical" room.
 - e. Install new concrete metal pan stairs and handrails.
 - f. Construct new fire partition wall and install three metal fire doors.
 - g. Clad two exposed metal fire doors in north wing with false wood door fronts with firework to match main room.
2. Reorganize north wing. Relocate the library staff offices.
 - a. Remove wall partitions, stacks and furniture.
 - b. Repair plaster and woodwork.
5. Remove dropped ceiling in north wing, to expose the original coffered ceiling. *Note:* New lighting fixtures and mechanical distribution will be required.



View of staff offices (on right) and drop ceiling in the north wing.



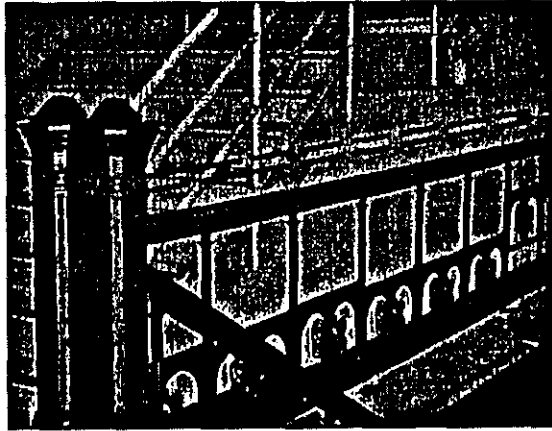
Sketch plan of proposed stair relocation.



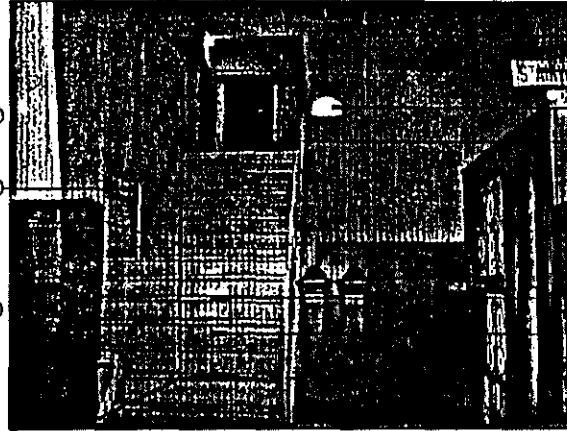
Original column.



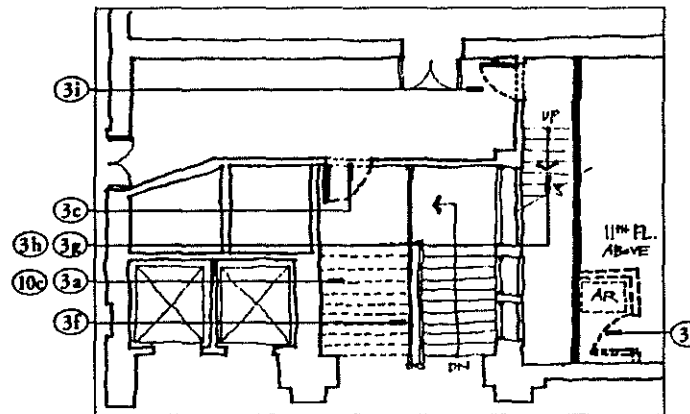
Staircase in north wing.



Baluster detail



Stairway next to elevators on west wall.



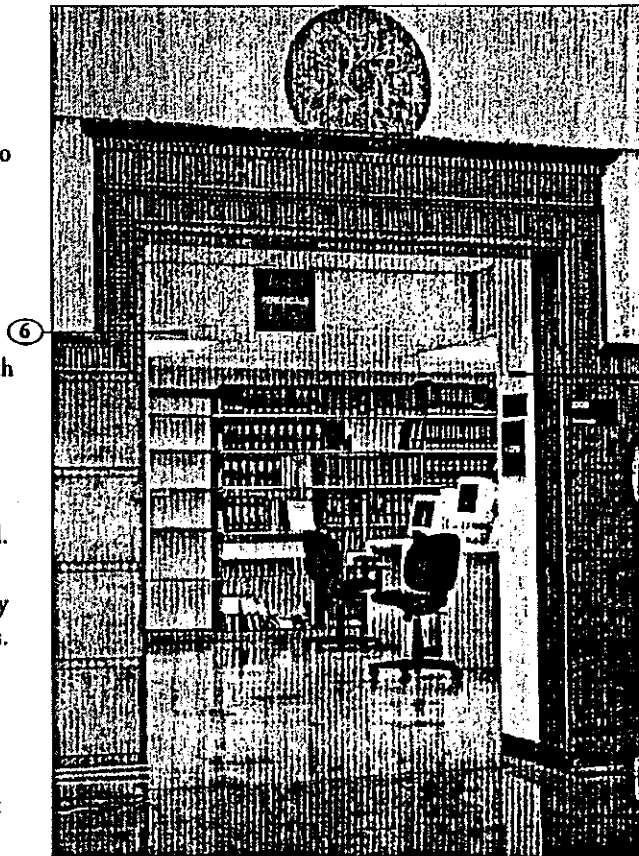
Sketch plan of proposed stair relocation.

3. Relocate, or remove if unnecessary by Code, the grand stairway extension leading to the eleventh floor.
 - a. Demolish existing concrete-metal pan stair.
 - b. Frame out and infill wall (6' x 5') and ceiling. (6' x 9")
 - c. Continue mahogany wood panelling around vestibule. (25' x 5') Install false panel door.
 - d. Continue plaster crown molding around vestibule.
 - e. Relocate fire extinguisher.
 - f. Add mahogany guardrail at 42" aff (to match handrail profile below).
 - g. Frame out opening at new location in "periodical" room.
 - h. Install new concrete metal pan stair and handrails.
 - i. Construct new fire partition wall and install two metal fire doors.

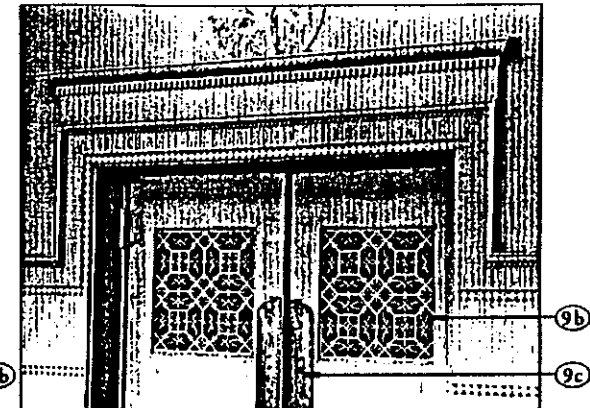


6. Remove dropped ceiling in periodical room and install new raised ceiling. *Note:* New lighting will be needed and mechanical ductwork may have to be relocated. Also, when doors from the main room are reinstalled, depending upon the future use of this space, this ceiling could remain.

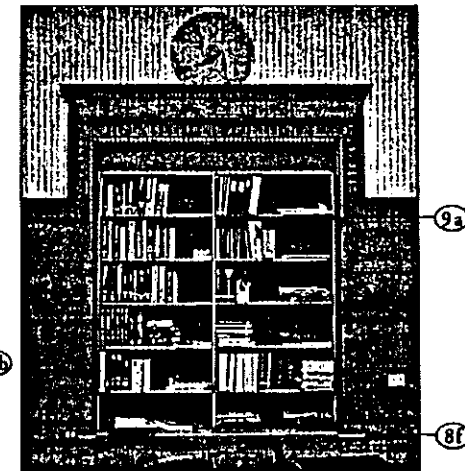
9. Reconstruct mahogany doors with fretwork panels on the west side of the main hall, and mahogany paneling in south wing.
 - a. Remove built-in bookshelves, and concrete masonry unit wall.
 - b. Construct and install two pair solid-core doors with mahogany finish and insert fretwork panels.
 - c. Add dull brass hardware (push panels) to doors.
 - d. Finish trim at doors as needed.*Note:* This design is to be copied for cladding of doors at reconstructed north wing also.
 - e. Construct and install mahogany paneling at west wall of south wing. Door under mahogany "transom" to remain. 40 sq. ft.



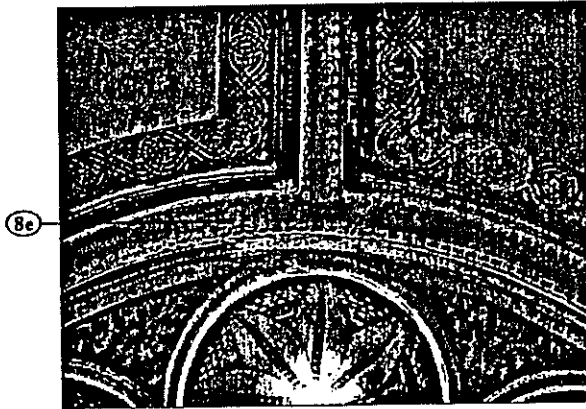
North entrance to periodical room on west wall.



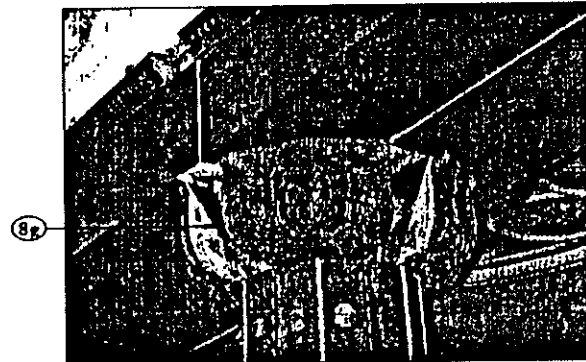
Original mahogany entrance doors with fretwork panels.



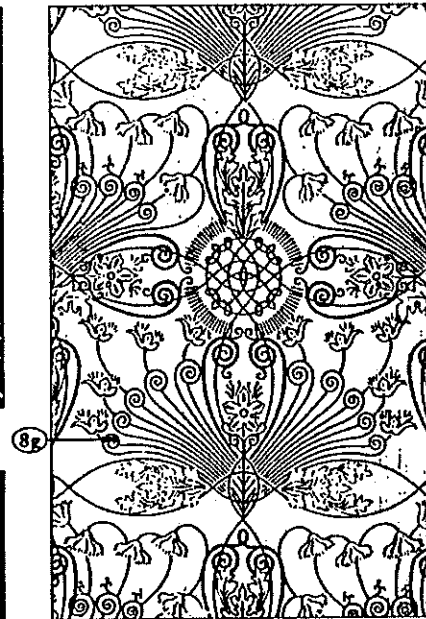
South entrance blocked and bookcase added.



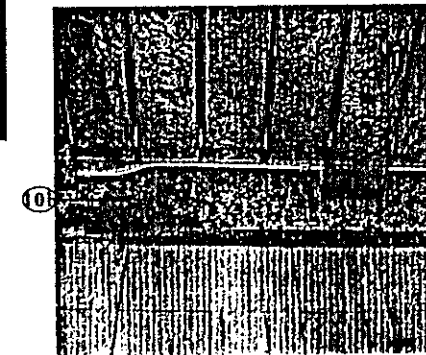
Detail of damaged plaster on ceiling in south wing.



Detail of missing carvings at column capital.



Stencil for vaulted ceiling.



Partial exposed flooring detail.

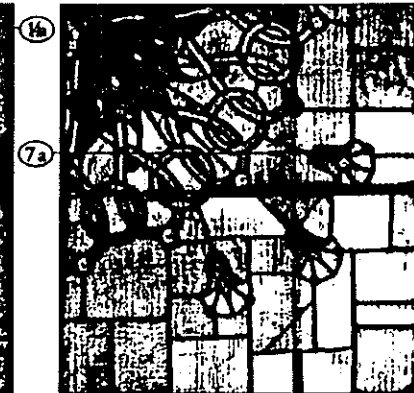
8. Interior finishes:
 - a. Determine original color scheme.
 - b. Remove paint from mahogany paneling in north wing, patch and restore to original finish. 800 sq. ft.
 - c. Remove clock and any ancillary signage. Replace exit signs with dull brass period signage.
 - d. Repaint and repair missing ornamental plasterwork.
 - 5 arch ribs - 2,000 sq. ft.
 - 2 main end friezes - 600 sq. ft.
 - Coffers north wing - 1,200 sq. ft.
 - e. Repair damaged plaster ceiling in south wing. 8 sq. ft.
 - f. Repair woodwork, fix holes. Remove surface mounted conduit.
 - g. Repair damaged plaster including missing carved column capitals. Reproduce stencil patterns and reinstall on main vault. Coordinate with new mechanical grills. 1,500 sq. ft.
 - h. Clean and restore oil painting by Olive Grover in tympanums in situ.
10. Expose and repair mosaic flooring. Remove existing asbestos tile. Coordinate with new electrical and telecom work.
 - a. North wing - 1,200 sq. ft.
 - b. Main hall - 4,200 sq. ft.
 - c. Underneath removed stair at vestibule. 80 sq. ft.



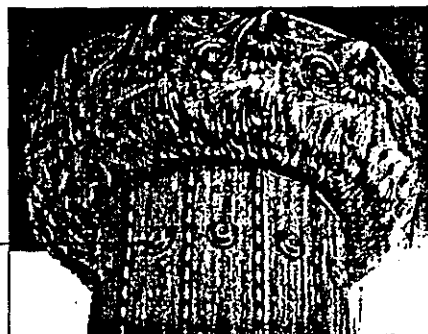
4. Install new double hung wood windows to match those in the South wing.
 - a. 8 @ 3'-6" x 7'-0"
 - b. 17 @ 2'-6" x 7'-0"
 - c. Brass hardware to match.
7. Restore skylights on the vaulted ceiling. See "Structural," "Lighting," and "Mechanical" sections.
 - a. Reproduce 16-panel stained glass skylights, from existing fragment. 6 @ 50 sq. ft.
 - b. Use natural light, if possible. Install new exterior skylights. Flash and seal per current standards. Install supplemental lighting.
 - c. Relocate mechanical ducts.
11. Install horizontal wooden venetian blinds to control glare.
 - a. 13 at 3'-6" x 7'-0"
 - b. 27 at 2'-6" x 7'-0"



Remove fluorescent lighting.



Fragment of original skylight.



Restore light setting around columns.



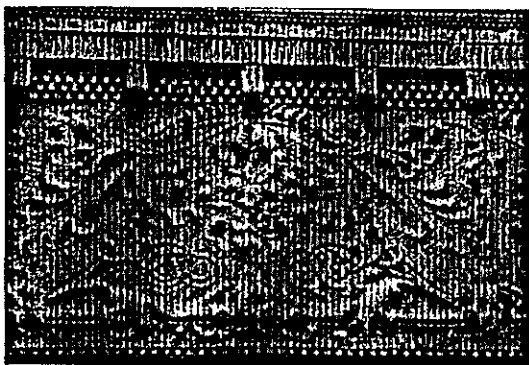
Restore arch soffit plaster light settings.



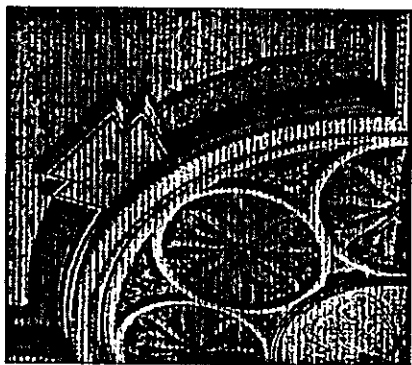
Original view from south wing. (Garczynski)

14. Lighting - see "Lighting" section.
 - a. Remove surface-mounted fluorescents on main vault.
 - b. Restore arch soffit plaster settings.
 - c. Restore lighting around the columns (remove and reinstall mahogany panelling) and behind the skylights.
 - d. Reinstall period lighting in the north wing.
 - e. Supplement main hall and wings with auxiliary lighting, if necessary.
 - f. Install new lighting in the adjacent "periodical room", if necessary.
 - g. Replace pendant fixture above stairway with historic reproduction of original fixture.

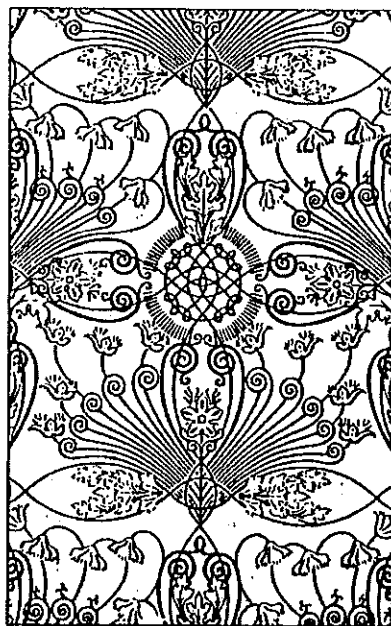




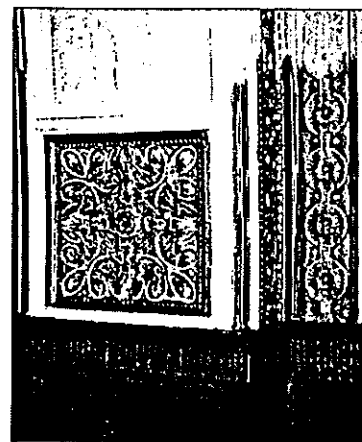
Plaster frieze at north and south end of main dining area.



Restored plaster ceiling in south wing.



Stencil for vaulted ceiling.



Ornamental plaster.



Original condition of hotel dining room. (Garczynski)

Original Interior Finishes

Main Hall

- Barrel Vault: Stencil- gold on white, 2 patterns, changing at the crest of the exterior dormer.
Molded plaster panels.
To be determined.
- Arch soffits: Molded plaster relief.
- Painted walls: Blue outer panes- topaz yellow inner.
- Skylight surround: Mahogany panels.
- Skylight stained glass: Mahogany panels.
- Wainscot: Carved mahogany.
- Columns, piers: Mahogany with fretwork inset panels.
- Column capitals: Oil mural on canvas by Oliver Dennett Grover.
- Doors: Molded plaster relief.
- Tympanums: Marble mosaic tiles. Black, white, red border on "aventurine" mixed ground.
- Frieze below tympanums:
- Flooring:

South Wing

- Ceiling: Molded plaster relief.
Circular coffers: Stencil: dull gold on white ground.
Between coffers: Very flat and delicately colored.
- Walls: Molded plaster tinted light yellow.
Cornice: Richly gilt with gold leaf.
Doublemold below cornice: Mahogany panels.
Wainscot: Marble mosaic tiles, as above.
- Flooring:

North Wing

- Ceiling: Simple plaster cross beams and cove moldings.
- Wainscot: Mahogany panels.
- Painted walls and cornice: "Canary yellow".
- Flooring: Marble mosaic tiles, as above.

This information was obtained from the following book: Edward A. Garczynski, Auditorium (New York, Philadelphia and Chicago: Exhibit Publishing Company, 1890).



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Adler & Sullivan. Burnham Library, The Art Institute of Chicago - University of Illinois Microfilming Project. Auditorium Building, roll no. 6 frames 217-32.

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The Auditorium Building: Roosevelt University Announces Plans for the Restoration of Adler & Sullivan's Auditorium Building. Chicago: Roosevelt University, 1958.

Chicago Auditorium Association Miscellaneous Pamphlets. Chicago Historical Society.

Louis Sullivan Scrapbook. Burnham Library, The Art Institute of Chicago. Magazine and newspaper articles on Sullivan.

Note: Additional reference material can be found at the Avery Library, Columbia University, New York, New York.

OUTLINE SPECIFICATION

DIVISION 1 - GENERAL REQUIREMENTS

SECTION 01010 - SUMMARY OF WORK

- SCOPE:
1. Project summary:
The project includes eight interior historic spaces within the Auditorium Building for historic rehabilitation and restoration. The purpose of this specification is to indicate the general performance criteria for the quality and type of work and to provide more detail to the work described in narrative and pictorial descriptions.

DIVISION 2 - SITE WORK

SECTION 02223 - MINOR DEMOLITION FOR REMODELING

- SCOPE:
- A. Removal of designated building equipment and fixtures.
 - B. Removal of designated construction.
 - C. Disposal of materials.
 - D. Conform to applicable code for demolition work, dust control, products requiring electrical disconnection and re-connection.
 - E. Obtain required permits from authorities.
 - F. Do not close or obstruct egress from any building exit or site exit.
 - G. Do not disable or disrupt building fire or life

safety systems without 3 days' prior written notice to Roosevelt University.

- H. Conform to applicable regulatory procedures when hazardous or contaminated materials are discovered.
- J. Conduct demolition to minimize interference with adjacent and occupied building areas.
- K. Cease operations immediately if structure appears to be in danger and notify Architect. Do not resume operations until directed.

DIVISION 3 - CONCRETE

SECTION 03310 - CONCRETE WORK

- SCOPE:
1. Provide concrete work for general building construction including:
 - a. Lightweight Concrete floor leveling and infill in Michigan Ave. Lobby.
 2. All slab / flatwork is to be reinforced with woven wire mesh per the design intent of the Structural engineer.
 3. Provide concrete infill in new metal stairs adjacent to Reading Room.

DIVISION 4 - MASONRY

SECTION 04413 - ARCHITECTURAL STONE

- SCOPE:
1. Provide squared and rectangular stone for interior applications:
 - a. Veneer: 3/4" smooth onyx wall panels, polished surface, to match existing panels at the new Michigan Ave. Lobby accessible entry. Refer to elevation and plans for extent of material. Fabricate units for uniform coloration between adjacent units and over the full area of the installation.
 - b. Veneer Wainscot: 3/4" thick, select grade, white marble for wainscot in Wabash Ave. Lobby. Refer to elevation and plans for extent of material.
 - c. Anchors and Other Components in Contact with Stone: Stainless steel, ASTM A 666, Type 304. Sizes and configurations: As required for vertical and horizontal support of stone and applicable loads.

DIVISION 5 - METALS

SECTION 05120 - STRUCTURAL STEEL

- SCOPE:
1. Provide miscellaneous structural steel for base building construction including framing members, support members, suspension cables,

sag rods, and struts for framing related to metal stairs on tenth floor current library area.

2. Fabricate structural steel members in accordance with AISC "ASD Manual of Steel Construction".
Structural Steel Members: ASTM A 36/A 36M., Steel Plate: ASTM A 514/A 514M, Sag Rods: ASTM A 36/A 36M.
 - a. Shop fabricate to greatest extent possible.
 - b. Shop prime structural steel members. Do not prime surfaces that will be fireproofed, field welded, in contact with concrete, or high strength bolted.

SECTION 05510 - METAL STAIRS

- SCOPE:
1. Provide structural steel stair framing and supports, Pan treads landings to receive concrete fill.
Provide Integral balusters and handrails.
 - a. Fabricate stairs and landings with closed risers and treads of metal pan construction using ungalvanized steel sheet, ready to receive concrete.
 - b. Secure reinforced tread pans to stringers with clip angles; welded in place.
 - c. Form stringers with rolled steel channels, 10 inches (250 mm) deep. Weld fascia plates to channels using 14 gage (1.8 mm thick) steel sheet across channel toes.
 - d. Form landings with minimum 30 gage sheet stock. Reinforce underside with angles to attain design load requirements.

- e. Prime paint components. Prepare surfaces to be primed in accordance with SSPC-SP 2. Prime paint items with one coat.
- 2. Design and fabricate stair assembly to support a uniform live load of 100 lb/sq ft (4.7 kPa) and a concentrated load of 300 lb/sq ft (14.4 kPa) with deflection of stringer or landing framing not to exceed 1/180 of span. Test in accordance with ASTM A 935. Design and fabricate railing assemblies in accordance with ASTM E 985.

SECTION 05600 - ARCHITECTURAL METALWORK

- SCOPE:
- 1. Provide cast metal storefront mullions, doors, and exterior "bench" for Michigan Ave. storefront sections as indicated on drawings. Also provide cast aluminum metal storefront mullions, for Wabash Ave. lobby storefront sections as indicated on drawings. Provide cast aluminum metal storefront mullions, for Fainman Lounge porch storefront sections as indicated on drawings. Replicate castings from original adjacent remnants. Use cast aluminum alloy #A-356 with tubular steel sub-framework, mullions, glazing stops, neoprene gasket spacers, assembly, finishing, historically replicated painting and touch-up. Provide installation and caulking. Shop drawings will be required.
 - 2. Provide on-site low pressure grit blasting (commonly abrasive cleaning or sandblasting) of existing cast iron storefront directly adjacent

to areas of new cast metal indicated in item #1. Remove all rust with chemical acid pickling. This is done by submerging pieces of cast iron in diluted phosphoric or sulfuric acid. Remove all loose, flaking and deteriorated paint must be removed Before painting, metal surfaces to be dry. Recaulk and seal as necessary. Use 1 coats zinc-rich primer, followed by 1 coats epoxy base coat and two urethane finish coats (brushed-on). This methodology is recommended by Preservation Brief 27: The Maintenance and Repair of Architectural Cast Iron.

- 2. Provide cast aluminum metal stair balustrade panels and newel posts for Michigan Ave. staircase and Wabash Ave. staircase as indicated on drawings. Replicate existing castings from original remnants if available. Use cast aluminum alloy #A-356, assembly, finishing, historically replicated painting and touch-up. Provide installation. Shop drawings will be required.

DIVISION 6 - WOOD AND PLASTICS

SECTION 06100 - ROUGH CARPENTRY

- SCOPE:
- 1. Provide rough carpentry work as required:
 - a. Stud wall framing: 2x dimensional lumber per structural engineering design
 - b. Headers, Ledgers, Nailers, blocking, furring and sleepers.

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SECTION 06400 - ARCHITECTURAL WOODWORK

- SCOPE:
1. Provide allowance for miscellaneous new wood trim components (i.e. Base boards, shoe base, trim, etc.)
 2. Perform work in accordance with AWI Architectural Woodwork Quality Standards Illustrated, Premium grade. AWI P-200 - Architectural Woodwork Quality Standards Illustrated; Architectural Woodwork Institute; 1997, Seventh Edition, Version 1.0.
 3. Provide architectural woodwork for items exposed to view.
 - a. Stain finish hardwood balustrade handrails in stairs where missing. (Mahogany)
 - b. Clear finish carved hardwood fretwork door panels in Reading Room where missing. (Mahogany). Stain as required.
 - c. Repair and install new birch fretwork missing from wall panels and grills in Ganz Hall and Antechamber.

SECTION 06500 - ARCHITECTURAL WOODWORK RESTORATION

- SCOPE:
1. Provide restoration quality repairs and stabilization of all wood in areas indicated.
 2. Perform work in accordance with AWI Architectural Woodwork Quality Standards Illustrated, Premium grade. AWI P-200 -

Architectural Woodwork Quality Standards Illustrated; Architectural Woodwork Institute; 1997, Seventh Edition, Version 1.0.

3. Provide architectural woodwork for items exposed to view.
 - a. Strip, stain, and refinish hardwood balustrade handrails in stairs at Michigan Ave. and Wabash Ave. stairways. (Mahogany)
 - d. Construct and stain carved hardwood fretwork and column capitals in Reading Room where missing. (Mahogany). Stain as required.
 - e. Repair split and separating columns in Ganz Hall. Remove columns, strip and reverse bleaching, to regain "tiger stripping" finish.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

SECTION 07620 - FLASHING AND SHEET METAL

- SCOPE:
1. Provide flashing and sheet metal components for building construction. Note that all metal components that come in contact with zinc must be either zinc or stainless steel.
 - a. Flashings, counterflashings and fabricated sheet metal items at new storefronts and entries at Michigan Ave. and Wabash Avenue.
 - b. Metal counter flashing

2. Provide Terne Coated Stainless Steel: 0.015 inch (0.4 mm) ASTM A 666 Type 304 core material with 0.092 lb/sq ft (0.45 kg/sq m) terne alloy coating on both sides of core metal.

DIVISION 8 - DOORS AND WINDOWS

SECTION 08110 - STEEL DOORS AND FRAMES

- SCOPE:
1. Provide interior steel metal fire doors and frames. Provide all necessary hardware, seals and thresholds. All frame & door assemblies are to be fabricated and prime finished by a manufacturer. Frame to be fully welded. Install in accordance with the requirements of the specified door grade and NAAMM HMMA 840 and NFPA 80.

SECTION 08200 - WOOD DOORS AND FRAMES

- SCOPE:
1. Provide interior wood doors and frames. Provide all necessary hardware, seals and thresholds. All window & door assemblies are to be fabricated and shop finished by a manufacturer of wood window and door and are to be provided with the manufacturers' warranty for performance and finish. Perform work in accordance with AWI P-200, Section 1400, Premium grade.
 2. Interior wood doors are to be stain finish solid lumber construction; mortised and tenoned joints,

panel type. See architectural drawings for details.

3. Provide oak wood exterior doors and dark bronze revolving door at Wabash Ave. Lobby.

SECTION 08610 - WOOD WINDOWS

SCOPE:

1. Provide solid wood, single hung, and fixed window units; material to be oak with stained finish interior and opaque finish exterior. Hardware to be a finish of brass. All lites to be double-glazed with low E coating; spacer bar to be black. Manufacturer to engineer all ganged units for appropriate wind loads. Frame profiles are to be provided to match existing historical profile. Provide matching jamb extensions and window casing as required. Exterior of windows to be painted in two color system that has been revealed from original window colors. Refer to plans, elevations and typical wall sections for size and configuration. Window units to be manufactured by one of the following:
 - i. Woodstone Windows
 - ii. Adams Architectural Wood Products
 - iii. J. Zeluck Inc.
 - iv. Adams Architectural Wood Products
2. Fabricate frame and sash members with mortise and tenon joints. Glue and steel pin joints to hairline fit, weather tight.
3. Provide weather stop flange at entire perimeter of unit.
4. Fabricate components with minimum clearances and shim spacing around perimeter of assembly, yet allowing installation and dynamic movement of perimeter seal.

5. Arrange fasteners to be concealed from view.
6. Provide internal drainage of glazing spaces to exterior through weep holes.
7. Insulated Glass Units: Double pane with glass to elastomer edge seal.

SECTION 08630 - METAL-FRAMED SKYLIGHTS

- SCOPE:
1. Provide Aluminum skylight framing system, Skylight glazing, Fasteners, anchors, reinforcement, and flashings for skylights in vaulted roof of the Reading Room.
 3. Design skylight system under direct supervision of a professional structural engineer experienced in design of work of the type specified in this section and licensed in the State where the project is located.
 - 4.
 5. Provide skylight with the following components:
 - a. Frame: Extruded aluminum structural members with integral condensation collection and guttering system thermally separated from exterior pressure bar.
 - b. Glazing System: Pressure glazing bar system for vertical joints and structural adhesive glazing for horizontal joints.
 - c. Glazing: Insulated Glass Units: Double pane with glass to elastomer edge seal.

SECTION 08660 - STAINED GLASS WINDOW RESTORATION

- SCOPE:
1. Provide restoration of stained glass windows per architectural drawings. Work to be guided by the "Standards and Guidelines for the Preservation of Historic Stained Glass" by the Stained Glass Association of America. All work to be completed by conservator who has a minimum of ten years of. Perform cleaning, repairs to broken and missing glass, releading, waterproofing, support system repair, and reinstallation. Work to be in accordance with Preservation Brief 33 "The Preservation and Repair of Historic Stained and Leaded Glass.
 2. Inspect framework and improve ventilation of protective glazing at each window in Ganz Hall.

DIVISION 9 - FINISHES

SECTION 09210 - GYPSUM PLASTER & RESTORATION

- SCOPE:
1. Provide Gypsum plaster over gypsum lath in area where new plaster surface is required.
 2. Perform Work in accordance with ASTM C 842 Standard Specification for Application of Interior Gypsum Plaster; 1999.
 3. Restore existing plaster ornament in Fainman Lounge, Grand Staircase, Ganz Hall, and Reading Room-TBD.

SECTION 09260 - GYPSUM BOARD ASSEMBLIES

- SCOPE:
1. Provide 5/8"t. gypsum drywall work including studs, support and bracing systems at all interior walls, partitions and ceilings. Provide necessary components including ceiling suspension and furring materials, joint reinforcement, corner beads and control joints. Substitute cementitious backer board for application in areas where moisture is a concern or tile is to be applied; as well provide waterproof gypsum drywall at all application subject to high humidity.
 2. Non-Load bearing Framing System
Components: ASTM C 645; galvanized sheet steel, of size and properties necessary to comply with ASTM C 754 for the spacing indicated, with maximum deflection of wall framing of L/240 at 5 psf (240 Pa).
 8. Studs: C shaped with knurled faces.
 9. Runners: U shaped, sized to match studs.

SECTION 09300- TILE & RESTORATION

- SCOPE:
1. Provide tile for floor applications, including ceramic and glass mosaic tile and restoration. Provide appropriate sealer per tile selected. Allow \$ 10 / SF for material only.
 2. Install tile, thresholds, and stair treads and grout in accordance with applicable requirements of ANSI A108.1 through A108.10, manufacturer's instructions, and TCA Handbook recommendations.

SECTION 09640 - WOOD FLOORING

- SCOPE:
1. Refinish the existing wood strip floors in Ganz Hall Antechamber. Strip, seal, stain, and finish floors.

SECTION 09680 - CARPETING

- SCOPE:
1. Provide broadloom carpeting for areas indicated in the drawings. Provide a woven construction with at least 80% wool, minimum pile height of .29 with a face weight of 42 oz. Per square yard. Approved Manufacturers include: Bloomsburg Carpet Industries.
 2. Provide appropriate pad consistent with carpet type and subsurface.
 3. Material and Installation Allowance: \$80/square yard.

SECTION 09900 - PAINTING

- SCOPE:
1. Provide surface preparation and field application of paints, stains, varnishes, and other coatings. Apply products in accordance with manufacturer's instructions.
 2. Stencil Painting shall be provided in areas indicated in drawings with stencil pattern as uncovered by Architect and Forensic Finish Specialist.
 3. Provide Gold Leaf finish to arches in Ganz Hall
 4. Install new gold paper wallcovering in south bays of Ganz Hall. 5 bays.
 5. Provide oil mural painting conservation for 10 bays in Ganz Hall. Work to be performed by Chicago Conservation Center.

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DIVISION 15 - MECHANICAL

Refer to Report from Mechanical Electrical
Plumbing and Fire Protection Engineer.

DIVISION 16 - ELECTRICAL

Refer to Report from Mechanical Electrical
Plumbing and Fire Protection Engineer.

LIGHTING RESTORATION

PRIMARY CONCEPT AND GOALS

- To restore the current lighting scheme to the original scheme as closely as possible.
- To enhance architectural features in keeping with Sullivan's intent.
- To increase illumination levels where necessary for the adaptive reuse of each space by Roosevelt University.
- To make all lighting renovation work unobtrusive and consistent with the architecture.
- To provide appropriate lighting control based on the programming for each space.
- To simulate natural light behind stained glass windows and skylights which were used extensively throughout the building. In addition to the aesthetic pleasure derived from the stained glass, these elements were sources of useful light.

SUMMARY OF WORK

MICHIGAN AVENUE LOBBY

Most of the original lighting - incandescent electroliers and decorative lamps in the cornice - was restored in the 1997 restoration. Work in this area will be limited to the replacement of lamps with new lamps which are more representative of early 20th century light bulbs and have a long life. Some limited additional lighting is recommended.

GRAND STAIRCASE

Currently, the stairway seems dingy and under-illuminated. The original lighting consisted of incandescent wall mounted electroliers at the landings. On the second floor mezzanine, the existing fluorescent lighting

behind the stained glass is highly visible and unattractive. This lighting will be replaced with new fluorescent fixtures to uniformly illuminate the stained glass in a less obtrusive way. At the upper floors of this stairway, incandescent wall brackets at each landing will be retained or replaced with electroliers. New recessed downlights at the landings will reinforce the sense of safety and security.

WABASH AVENUE LOBBY AND STAIRCASE

Currently, this lobby is filled with natural light. Existing lighting consists of modern globe pendants and wall brackets. In the lobby, four three lamp incandescent electroliers are to be replicated and mounted above the doors. Downlights will be added to the ground level elevator lobby to replace the existing wall brackets and to increase illumination in this area.

The stairway and upper elevator lobbies are dark and under-illuminated. The original ceilings at the upper floor landings will be reproduced and three lamp electroliers will be added in the ceiling and at wall bracket locations in a manner consistent with other areas of the building. Fluorescent backlighting will be added for the skylight (reproduction of original) at the 10th floor landing.

FAINMAN LOUNGE

The original lighting scheme is to be replicated for this area. Modern globe pendants will be replaced with original four-lamp incandescent electroliers mounted in the ceiling coffers and the three-lamp electroliers will be reactivated in the plaster cornice. Original wall brackets mounted on columns at Grand Staircase will be replicated. Supplemental lighting will be added as needed for reading tasks in the form of floor or table lamps associated with the furniture layout. New fluorescent lighting will backlight restored stained glass windows adjacent to the fireplace and recessed downlights will illuminate the corridor behind fireplace. In the loggia, existing surface mounted fluorescent lighting will be replaced with fluorescent coves to uplight the ceiling.

SULLIVAN ROOM

No Lighting Work.

FACULTY LOUNGE

The original lighting consisting of pendant fixtures and wall brackets mounted on paneled walls will be reproduced. Downlights will be added to supplement original lighting for the visual tasks associated with meeting functions. All lighting will be controlled via a simple preset dimming system.

GANZ HALL

Original large electrolier pendant fixtures will be reproduced to provide general illumination. Existing stage downlighting will be replaced to create more uniform illumination of the stage. Additional locations for theater fixtures will provide additional frontal lighting to rear of stage. Exterior floodlights will highlight lunette stained glass windows from outside at night.

GANZ HALL ANTECHAMBER

Existing pendant fixtures which may resemble the original fixtures will be retained. New fluorescent lighting will illuminate skylights more uniformly.

READING ROOM

The original lighting for this room consisted of natural light provided by six skylights. Natural light was supplemented by filament lamp "points of light" mounted in the plaster ornament of each arch soffit. A "bracelet" of filament lamps also circled each of the wood paneled columns at the north and south ends of the main room. The skylights will be reproduced and will have fluorescent backlight to mimic daylight. The filament lamps will be reactivated at both the arches and the

columns. Currently, fluorescent fixtures surface mounted to the vaulted ceiling produce high illumination levels required for reading and study. In order to achieve sufficient illumination levels for the multipurpose function anticipated for this room, some form of supplemental lighting will be required. This could be achieved through the use of recessed downlights installed into the vaulted plaster ceiling adjacent to each skylight. An alternative approach to adding downlights would be to add a modern light structure to the space that would provide both uplight and downlight as necessary.

The low ceiling in the north wing will be removed to expose the original coffered ceiling. The lighting scheme in the north wing will be similar to that of the south wing with single filament lamps mounted in the plaster cornice.

STRUCTURAL CONDITIONS SUMMARY

GANZ HALL

General Structural System

- The paint coatings on the exposed metal elements outside the building should be maintained to prevent further corrosion.
- With regard to the missing and loose mortar between the wood floor beams and clay tile units, it is possible that these joints were not packed full during original construction. However, the loose mortar is likely due to a combination of shrinkage of the wood beams and shrinkage of the mortar material itself. During our survey, we did not observe distress conditions directly related to loose mortar and resulting looseness of the clay tile units (other than displacement of the units, which is discussed below). A structural analysis of the floor system would need to be performed to determine the interrelationship of the mortar in the wood and clay tile floor system. If analysis shows that the mortar should be repaired or repointed throughout the floor system, a separate analysis should also be performed to determine if such a repair would affect adversely the acoustical properties of the auditorium space.
- A code analysis should be performed to determine the appropriateness of the use of wood beams in the floor system of the hall.
- Approximately 3-5% of the tiles should be anticipated for replacement.
- A structural analysis should be performed of the floor openings installed to accommodate mechanical ductwork.
- A code analysis should be performed to determine the storage limitations in the interstitial space below the hall floor.

Exterior Wall Cladding

- An appropriate roofing system should be installed to replace the existing EIFS cladding used on horizontal and sloped surfaces.

- The EIFS cladding should be monitored for distress conditions such as cracking or evidence of water leakage through the wall.

Window System

- The art glass windows should be inspected by a qualified conservator to determine if any repair interventions are warranted at this time.
- The cavity between the art glass should be vented to prevent the build-up of high-temperature air or condensation, both of which can be detrimental to the art glass. Further study is needed to determine whether the venting is to be installed on the interior or the exterior.
- The sealant materials at the aluminum storm windows should be maintained.

Roofing System

- The existing roofing membrane on Ganz Hall was replaced in 2000.

Interior Plaster Ceiling

- Close-up inspection of the ornamental plaster in the auditorium should be performed by a qualified ornamental plaster conservator when this room is scheduled for restoration or repainting. However, if this work is not scheduled to take place within the next five years, then inspection should be performed before that time. The inspection should include the bottom surface of the plaster as well as the supporting structure for the plasterwork. We understand that Ganz Hall is scheduled for re-roofing in the near future. Inspection of the supporting structure could be performed through interstitial access gained at that time by making openings through the roof deck of the hall.
- If additional acoustical modifications are made to the auditorium space, the plaster ceiling should be inspected and analyzed at locations of planned modifications to determine if the ceiling can support the loads of additional materials.

- The flat plaster areas and wood drop beams in the vestibule space should be repaired and restored by a qualified restoration contractor.

LIBRARY

Exterior Wall Cladding

- We recommend, in conjunction with an investigation of the building facade, that examination of the exterior masonry facade of the Library include components in the scope of work for close-up inspection and inspection openings at appropriate locations to observe concealed conditions.
- The region of with missing sheet metal roof at the east elevation setback wing should be inspected close-up as part of the examination of the building facade.

Window System

- The fifteen windows that have been restored in the southern portion of the Library should have weatherstripping installed at the meeting rails and jambs in order to reduce air and water infiltration. Consideration should also be given to re-installation of the chain and counterweight system in order to maintain historical accuracy.
- The remaining existing windows should be fully repaired and restored by a qualified window restoration contractor.

Roofing System

- The isolated scuffs and cuts in the field of the roofing and in the base flashings of the new roofing membrane should be repaired as soon as possible.
- Debris that has accumulated at the strainers for the roof drains should be routinely removed. The accumulation of this debris has caused water to pond around the roof drains.
- The various previous repair materials at the parapet areas should be removed and the joints should be properly repointed or resealed.

Interior Plaster Ceiling

- Close-up inspection of the ornamental plaster in the Library (main reading room, south reading room, and north room) should be performed by a qualified ornamental plaster conservator when this room is scheduled for restoration or repainting. However, if this work is not scheduled to take place within the next five years, then inspection should be performed before that time. The inspection should include the bottom surface of the plaster as well as the supporting structure for the plasterwork.
 - Areas of plaster damage should be repaired and restored by a qualified ornamental plaster contractor.

FACULTY LOUNGE

Window System

- The windows in this space are in good condition yet they are not historically accurate and operate poorly.
- Consideration should be given in the master plan to replacing the existing windows with historically sensitive windows.

SULLIVAN ROOM

Window System

- The windows in this space are in good condition yet they are not historically accurate and operate poorly.
- Consideration should be given in the master plan to replacing the existing windows with historically sensitive windows.

OSCAR FAINMAN MEMORIAL HALL

Window Systems

- These windows are very difficult to operate and are not historically sensitive to the building.
- We understand that consideration is being given in the master plan to remove the existing windows and, since Roosevelt University wants to maintain the enclosure of the space, replace them with more historically or architecturally sensitive windows. We concur that this approach should be taken.

MICHIGAN AVENUE LOBBY

Revolving Door (2 sets)

- The doors are in good condition and should be maintained to preserve their current condition.

Window System (2 total, flanking revolving doors)

- These windows are in fair condition and should be maintained on the exterior and interior.

WABASH AVENUE LOBBY

Aluminum Curtain Wall

We understand that as part of the overall master restoration plan for the building, that consideration is being given to remove the Wabash Avenue entrance and restore it to original condition. We concur that this approach should be taken.



SUMMARY OF REQUIREMENTS

DIVISION 15&16 – SUMMARY OF MEP REQUIREMENTS

GANZ HALL

- SCOPE:
- A. Remove and replace the HVAC system for the Hall, Entry and associated spaces.
 - B. Extend chilled water from the Central Cooling Plant.
 - C. Provide hot water heat exchanger and piping.
 - D. Provide steam humidifier.
 - E. Upgrade the backstage toilet room.
 - F. Connect all systems to new Building Automation System.
 - G. Upgrade and replace the lighting systems serving the hall, entry and support spaces, all in keeping with the overall historical renovation.
 - H. Upgrade power distribution to support HVAC upgrades.
 - I. Install new fire alarm devices, emergency lighting and exit signage as required by code.

MICHIGAN AVENUE LOBBY

- SCOPE:
- A. Install a new HVAC system for the Lobby.
 - B. Extend chilled water from the Central Cooling Plant.
 - C. Provide hot water heat exchanger and piping.
 - D. Modify perimeter heat for new entry.
 - E. Connect all systems to new Building Automation System.

- F. Upgrade power distribution to support HVAC upgrades.
- G. Provide new lighting for new entrance vestibule.
- H. Install new fire alarm devices, emergency lighting and exit signage as required by code.

WABASH AVENUE LOBBY

- SCOPE:
- A. Install a new HVAC system for the Lobby.
 - B. Extend chilled water from the Central Cooling Plant.
 - C. Provide hot water heat exchanger and piping.
 - D. Replace Lobby cabinet heaters.
 - E. Connect all systems to new Building Automation System.
 - F. Upgrade power distribution to support HVAC upgrades.
 - G. Provide new lighting in Lobby.
 - H. Provide new lighting in Stairwell to 10th floor.
 - I. Install new fire alarm devices, emergency lighting and exit signage as required by code.
 - I. Install video surveillance cameras in the Lobby.
 - J. Provide power and phone at new guards desk.

FAINMAN LOUNGE

- SCOPE:
- A. Install a new HVAC system for the Lounge and porch.
 - B. Provide hot water heat exchanger and piping.
 - C. Replace perimeter heat.
 - D. Connect all systems to new Building Automation

Ketchmark & Associates, Inc.

- E. System.
Upgrade power distribution to support HVAC upgrades.
- F. Install new fire alarm devices, emergency lighting and exit signage as required by code.
- G. Provide new power and telecom outlets in Lounge and porch.

SULLIVAN ROOM

- SCOPE:
- A. Install a new HVAC system for the Lounge.
 - B. Replace perimeter heat.
 - C. Connect all systems to new Building Automation System.
 - D. Install new fire alarm devices, emergency lighting and exit signage as required by code.
 - G. Provide new power and telecom outlets in room.

FACULTY LOUNGE

- SCOPE:
- A. Install a new HVAC system for the Lounge.
 - B. Replace perimeter heat.
 - C. Connect all systems to new Building Automation System.
 - D. Install new fire alarm devices, emergency lighting and exit signage as required by code.
 - G. Provide new power and telecom outlets in room.
 - H. Provide new historical lighting within room.

GRAND STAIRCASE

- SCOPE:
- A. Upgrade the backlit lighting of stained glass panels located in the staircase.

- B. Install new fire alarm devices, emergency lighting and exit signage as required by code.

10TH FLOOR READING ROOM

- SCOPE:
- A. Replace the HVAC system serving this area.
 - B. Replace perimeter heat.
 - C. Extend chilled water from the Central Cooling Plant.
 - D. Provide hot water heat exchanger and piping.
 - E. Connect all systems to new Building Automation System.
 - F. Install new fire alarm devices, emergency lighting and exit signage as required by code.
 - G. Provide new power and telecom outlets in room.
 - H. Provide new historical lighting within room.

AUDITORIUM BUILDING CONSERVATION MASTERPLAN

MICHIGAN AVENUE, CHICAGO, ILLINOIS

PRELIMINARY ESTIMATE

November 20, 2000

**BOOTH/HANSEN ASSOCIATES
555 SOUTH DEARBORN STREET
CHICAGO
ILLINOIS
60605**

**CONSTRUCTION RESOURCES & MANAGEMENT
8002 RFD
LONG GROVE
ILLINOIS
60047**

CLARIFICATIONS & EXCLUSIONS

Basis

This Preliminary cost estimate is based on the drawings and other information provided by the office of Booth/Hansen, Chicago, Illinois received October 26, 2000.

This estimate has been priced at costs that are projected to the first quarter of 2001.

Bidding criteria

This estimate has been prepared on the basis of a minimum of 6 competitive bids being sought for each separate project with only one bid being accepted and the contract awarded to one general contractor.

If prime contracts are bid and awarded this estimate will require adjustment.

Assumptions

It is assumed that each project will be bid and constructed as one contract, if the works are carried out in separate phases this estimate will require adjustment.

It is assumed that work will be performed during regular hours and that the building will be occupied.

Exclusions

It should be noted that the following items are specifically excluded:-

1. Premium costs for overtime working,
2. Owners costs for disruption, additional security, etc.,
3. Contracts for work direct with the owner,
4. Professional fees, permits and testing expenses,
5. Work associated with hazardous materials,
6. Owner administrative legal or finance charges,
7. Escalation.

CLARIFICATIONS & EXCLUSIONS (Continued)

General conditions, design and construction contingencies

Jobsite general conditions, home office overhead, profit and bonds are added at the summary of each estimate. At this time it is appropriate to use the compounded rate of 15.00%.

An allowance of 10.00% for undeveloped design details, bid addenda and clarifications has been added at the summary of each estimate.

An allowance of 10.00% for change orders and unexpected conditions has been added at the summary of each estimate.

Opinion of probable cost

This estimate is an opinion of the probable construction cost for this project based on the information provided. Construction Resources and Management has no control over final material selection, bidding strategies and market conditions therefore no guarantee can be given that the actual construction cost will not vary from this estimate.

It is imperative that as the design progresses additional estimates are produced to ensure compliance with the projected final cost.

Project Title : Auditorium Building Conservation Masterplan

Estimate type : Preliminary

Project Location : Michigan Avenue, Chicago, Illinois

Date : November 20, 2000

GENERAL SUMMARY

Category/element	Cost/\$
Michigan Avenue Lobby	1,165,494
Grand Staircase	560,491
Wabash Avenue Lobby	1,702,941
Fainman Lounge	1,729,309
Sullivan Room	180,934
Faculty Lounge	302,080
Ganz Hall	1,802,301
Reading Room	2,934,138
ESTIMATED COST	\$10,377,688



Roosevelt University is a private, metropolitan, non-sectarian institution of higher learning committed to the fundamental values and purposes of higher education in America. The University was founded in 1945 with the mission to provide equal educational opportunity to students of all backgrounds. One of the distinctive characteristics of Roosevelt University continues to be the heterogeneity of its students. Based on this founding ideal, Roosevelt both provides access to higher education to a diverse student population and actively seeks out underserved populations.

In 1946, Roosevelt University, then its second year of existence, purchased the once grand and renowned Auditorium Building. The building was a state of neglect and abuse. However, it was and remains a structurally sound and economical solution to the challenge of providing classrooms, laboratories, library spaces, rehearsal spaces, and offices. As a young university, the cost of the necessary repairs and refurbishment of this "old" building severely taxed its resources. Minimal work was done. The University moved in and set up operations with few modifications into a building designed as a mixed-use facility of hotel, offices and a grand theater. Therefore, proper space allocation has never achieved. Expansion has occurred over the years in a random "find the next available space" basis. Additionally, many of the modifications, improvements and repairs were done essentially unrelated to each other and the architecture of the building.

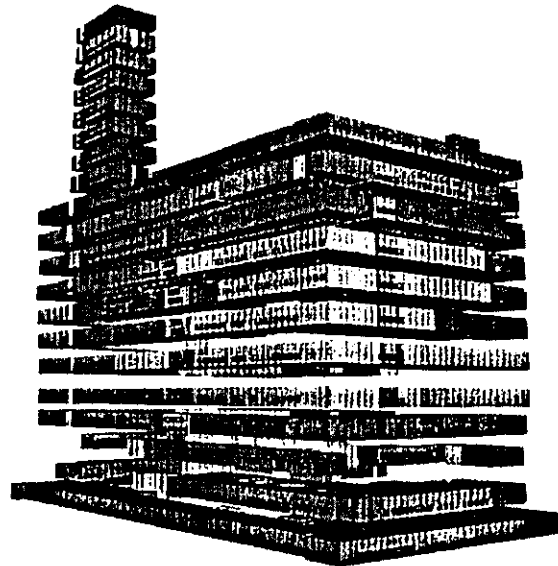
Auditorium Strategic Plan 2020

The purpose of the Strategic Plan 2020 is to bring together the future of the academic program with the constraints of the existing building to incorporate the space available in the building for the "best" use. Additionally, at the beginning of this new millenium, the Plan is responding to the environmental and architectural quality of the historic and other spaces to embark on a major renovation over the next ten to fifteen years. The work of the Getty Preparation Grant Report will serve to document the work necessary for eight interior historic spaces within the overall framework of the Strategic Plan 2020. The following Objectives and Goals are described herein to indicate the magnitude of this Plan. Several of the three-dimensional stacking diagrams are shown to indicate the functions of the spaces. The phasing of the Plan is equally important to the process as the Plan itself. Therefore a diagram indicating the building with eight phases is shown to signal the complexity of the work required.

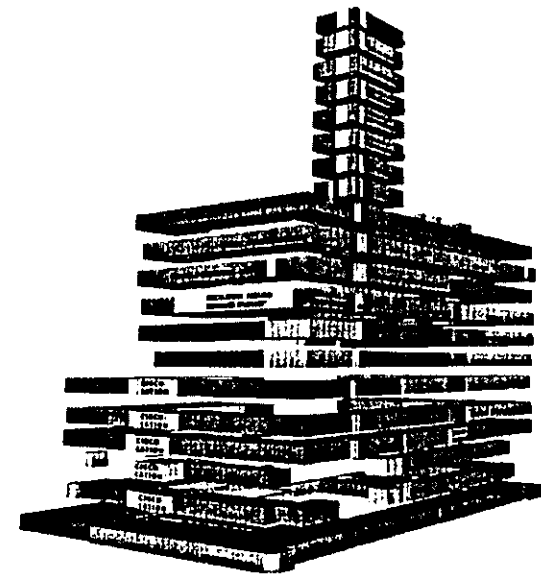


Vision 2020 Objectives:

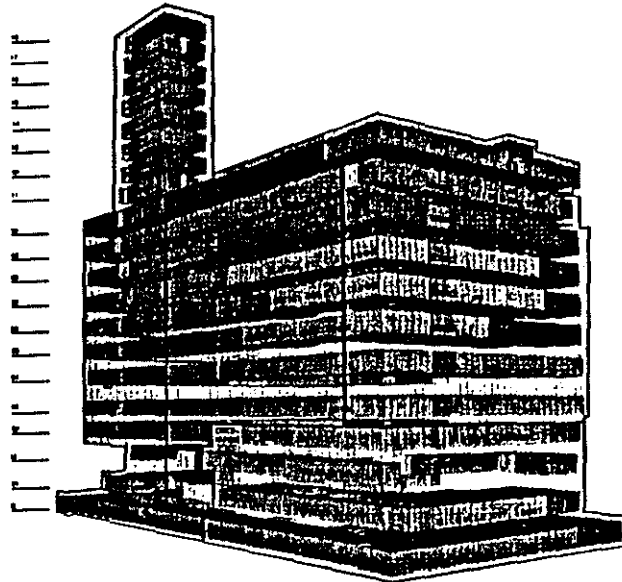
- Roosevelt University will continue to own, occupy and utilize the Auditorium Building as a principal academic facility and as a premier historic "signature" building.
- As custodians of one of the greatest artistic, architectural, and engineering achievements, continued restoration and rehabilitation of the Auditorium Building is necessary to improve its serviceability and appearance and to extend its useful life.
- Plan for the dream, not the limitations.
- Maintain the existing "non-traditional" student population with small class sizes (16-32), while at the same time attract more "traditional" 18-23 year old daytime students.
- Continue as a metropolitan university by tying the campus into the growing context of the South Loop Education Corridor.
- Serve as an intellectual and cultural resource to the community.



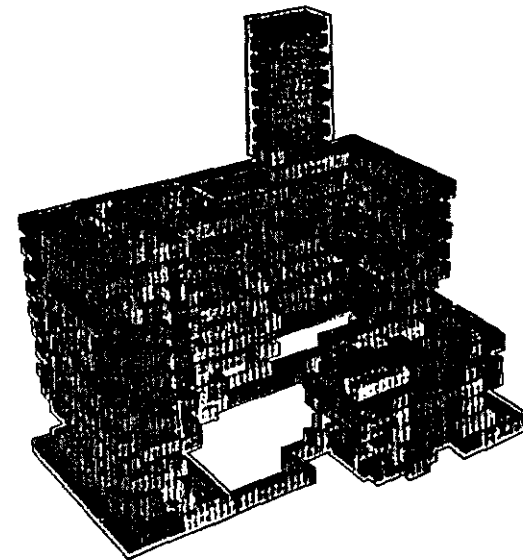
Congress Parkway and Michigan Avenue.
Three Dimensional Stacking Diagram.



Wabash Avenue and Congress Parkway.



Congress Parkway and Michigan Avenue.
Phasing Diagram.



Plan 2020 Goals:

Community & Connection

- Improve the effectiveness of the electronic information resources (library) as intellectual "common" spaces.
- Provide areas for greater interaction between faculty to faculty, faculty to students as academic & student life "common" spaces.
- Promote and enhance the uses of Technology to achieve the university's mission.
- Improve vertical circulation (i.e. elevators, stairs, escalators, etc.) throughout the building.

Spirit

- Enliven outward street-level appearance of the building at the 1st floor lobbies and adjacent street level spaces.
- Create a community of students and faculty.
- Renovate existing spaces in the "spirit" of Sullivan's original design for non-historic spaces.
- Provide "centers of academic life" and incorporate upgraded facility space.
- Improve the quality of the "classroom" learning experience for all students.

Stewardship

- Improve building systems (mechanical, life safety, and electrical, plumbing, telecommunications, fire protection).
- Conserve and reinforce the uses of the interior historic spaces to serve the university's functional requirements.
- Conserve the historic appearance of the exterior of the building.

