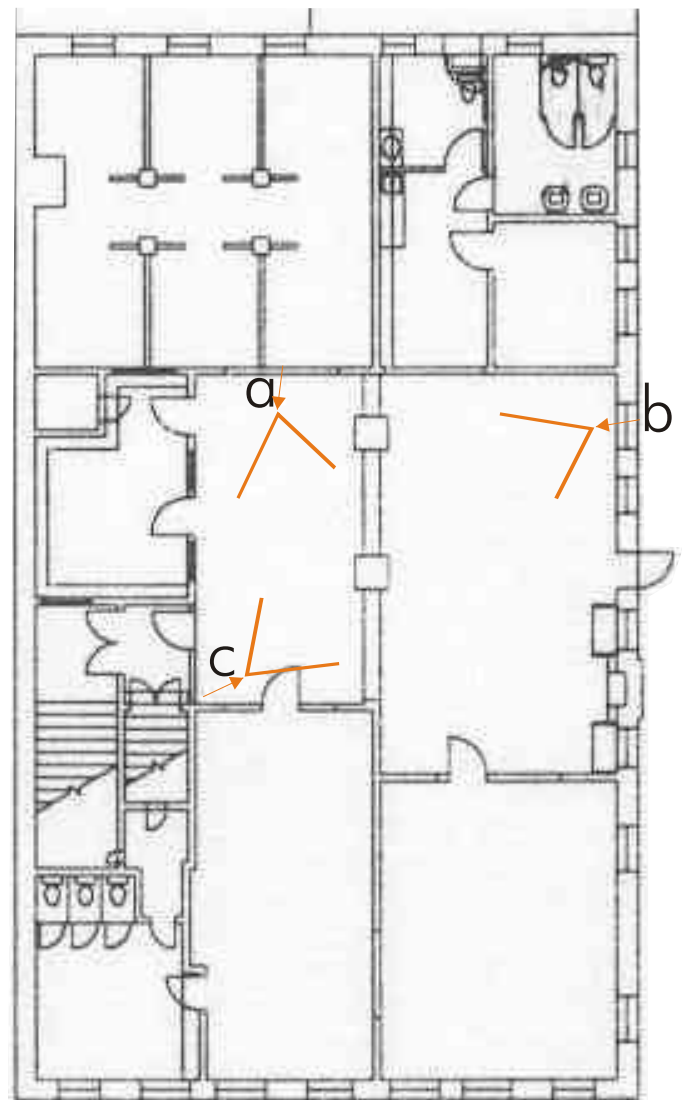
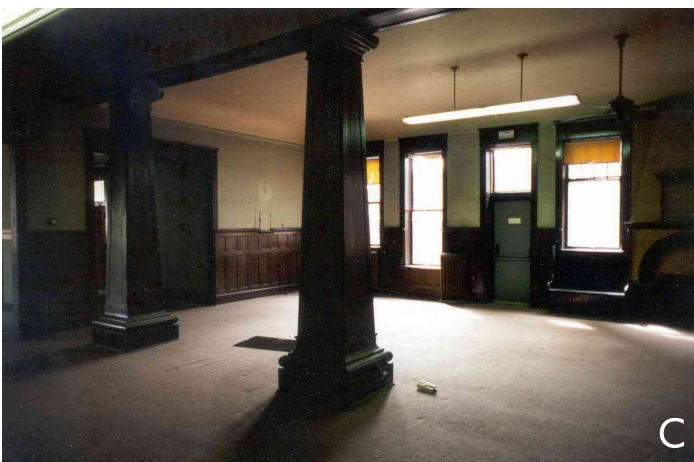


39-49 North Prairie, Galesburg, 1996

- Stories: Three
- Historic use: YMCA/Masonic Temple Lodge
- New use: Office space
- Exits: Three: 1 into a fire-rated stair hall, 1 from the elevator, 1 to a fire escape
- Sq. footage: Each floor is approx. 4,000 sq. ft. The building is 50' x 85'
- Construction: Brick load-bearing walls, plaster and lath interior partitions, wood roof and floor.



"Before" floor plan

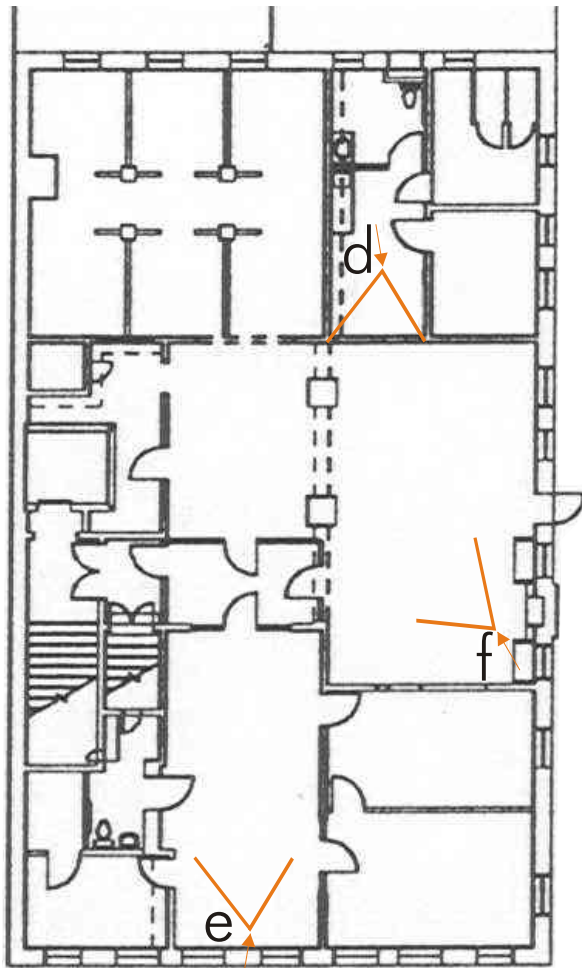


Street facade

Comments:

The building was built as a YMCA in 1898 but only functioned as this for 15 years before it was sold the Galesburg Masonic Temple Association. When the current owners bought the building, the two upper floors were fairly intact from the 1913 remodeling. Because of the new office function, an elevator was installed. The elevator installation was stretched over 2 years (the shaft in the fall, the mechanics in the spring) in order to maximize the 50% Disabled Access Tax Credit (which has an annual maximum credit of \$5,000). The total cost of the elevator was around \$60,000. Other work included window repair, updating the plumbing and electrical, installing new HVAC, and new fixtures and finishes. The new floor plans required the construction of new partitions in some of the larger spaces. This was done while maintaining the spaces' historic integrity.

"After" floor plan



Street facade

The cost of the entire rehabilitation (including the first floor) was \$185,000. The owner approximates that 65% of this was spent on the rehabilitation of the upper floors, including the expense of the elevator. This brings the project cost for the upper floors to \$120,250 for approximately 8,000 sq. ft. (or \$15 per sq. ft.). In addition to the Disabled Access Tax Credit, the owners used the 20% Rehabilitation Tax Credit for Historic Buildings, which saved a total of \$47,000 and lowered the project cost to \$138,000 and the upper-floor cost per square foot to \$11. The office space rents for \$6 per square foot.

