

# Bert's West Side Flats, 17½ North Madison, Pittsfield, 2003

Stories: Two  
Historic use: Commercial/Office space  
New use: Guest lodging  
Exits: One from the 2nd floor to the street  
Windows: 3 on front, 2 on rear, 3' x 8'  
Sq footage: 1,600 sq. ft. bldg. is approx. 20' x 80'  
Construction: Brick load-bearing walls, plaster & lath interior partitions, wooden roof & floor.

## Code Information:

Type of Construction: Type 3A  
Occupancy Class: R-3, Residential  
Light 8% req: 1 window = 300 sq. ft.  
Ventilation 4% req: 1 window = 300 sq. ft.  
Max room size w/ 1 window: 300 sq. ft.  
Max Occupancy Load: 1,600 sq. ft. / 200 = 8  
Min Number of Exits: Occ Load  $\leq$  10 = 1 Exit  
Common Path of Egress: 30' (max is 75')  
Exit Access Travel Distance: 110' (max is 200')  
Vertical Exit Enclosure: 1 hour fire rated  
Note: Building was updated to R-3, but operates as R-1.



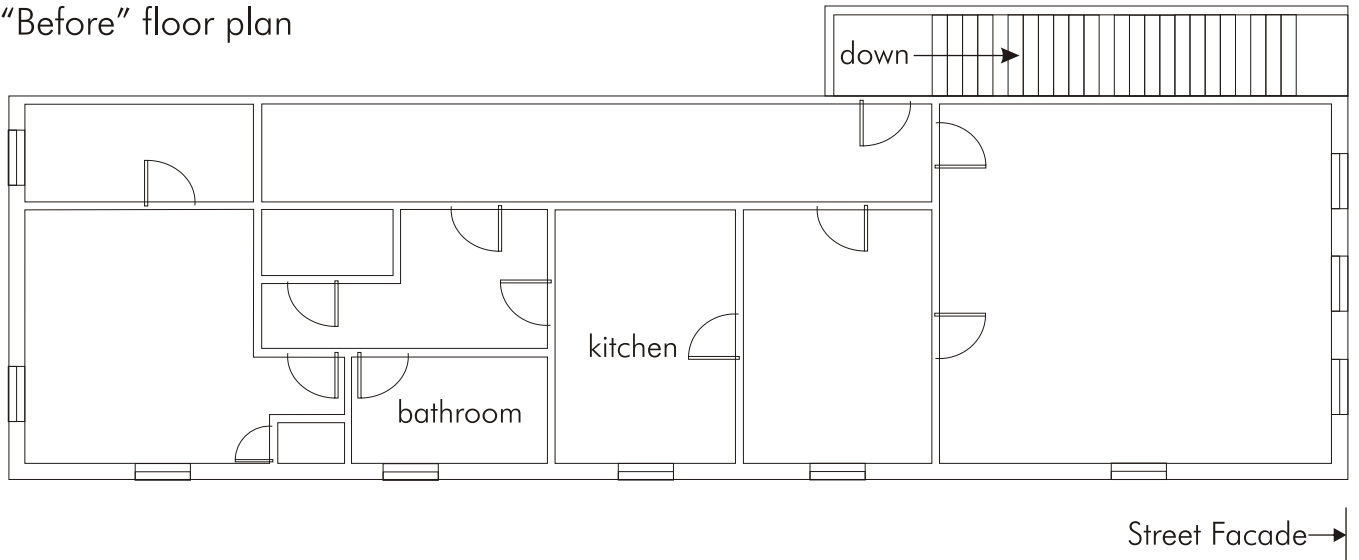
## Comments:

Upper-floor had been vacant for 20 years. The owner decided on guest lodging because she did not want to divide the space into 2 apartments and would not see a return on one apartment. Expenses were \$40,000 (\$25 per sq. ft.), which included window repair, new electrical, HVAC, plumbing, fixtures and finishes. Owner did most of the finishes herself (painting and refinishing wood floors) and contracted the other work. The new floor plan provides 2 new large bathrooms, which are a big selling point.

The Flat rents for \$100 per night or \$500 for 6 nights. Owner pays for phone and cable and a 5% Hotel/Motel tax. At first, the owner used a hunting outfitter to market the flats, but she now relies on repeat business. She has not heavily marketed the Flat because she runs it herself. She is neither making nor losing money on the business, but she sees it as a way to improve the property value of a building she already owned. For insurance, the Flat is classified as an owner-occupied apartment.



"Before" floor plan



"After" floor plan

